

BARCUS

STANDARD FEATURES

| | |
|--------------------------|---------------------|
| LOWER LEVEL | 2112 SQ. FT. |
| UPPER LEVEL | 1844 SQ. FT. |
| TOTAL LIVING AREA | 3956 SQ. FT. |
| GARAGE / STORAGE | 714 SQ. FT. |
| COVERED PORCH | 55 SQ. FT. |
| SCRND PORCH | 232 SQ. FT. |
| TOTAL UNDER ROOF | 5048 SQ. FT. |

OPTIONAL FEATURES

| | |
|-----------------------|--------------|
| OPT FINISHED BASEMENT | 1912 SQ. FT. |
| OPT ROOM OVER GARAGE | 623 SQ. FT. |
| OPTIONAL WOOD DECK | N/A |

OUTSIDE DIMENSIONS

| | |
|---------------|--------|
| OVERALL WIDTH | 36'-8" |
| OVERALL DEPTH | 64'-1" |

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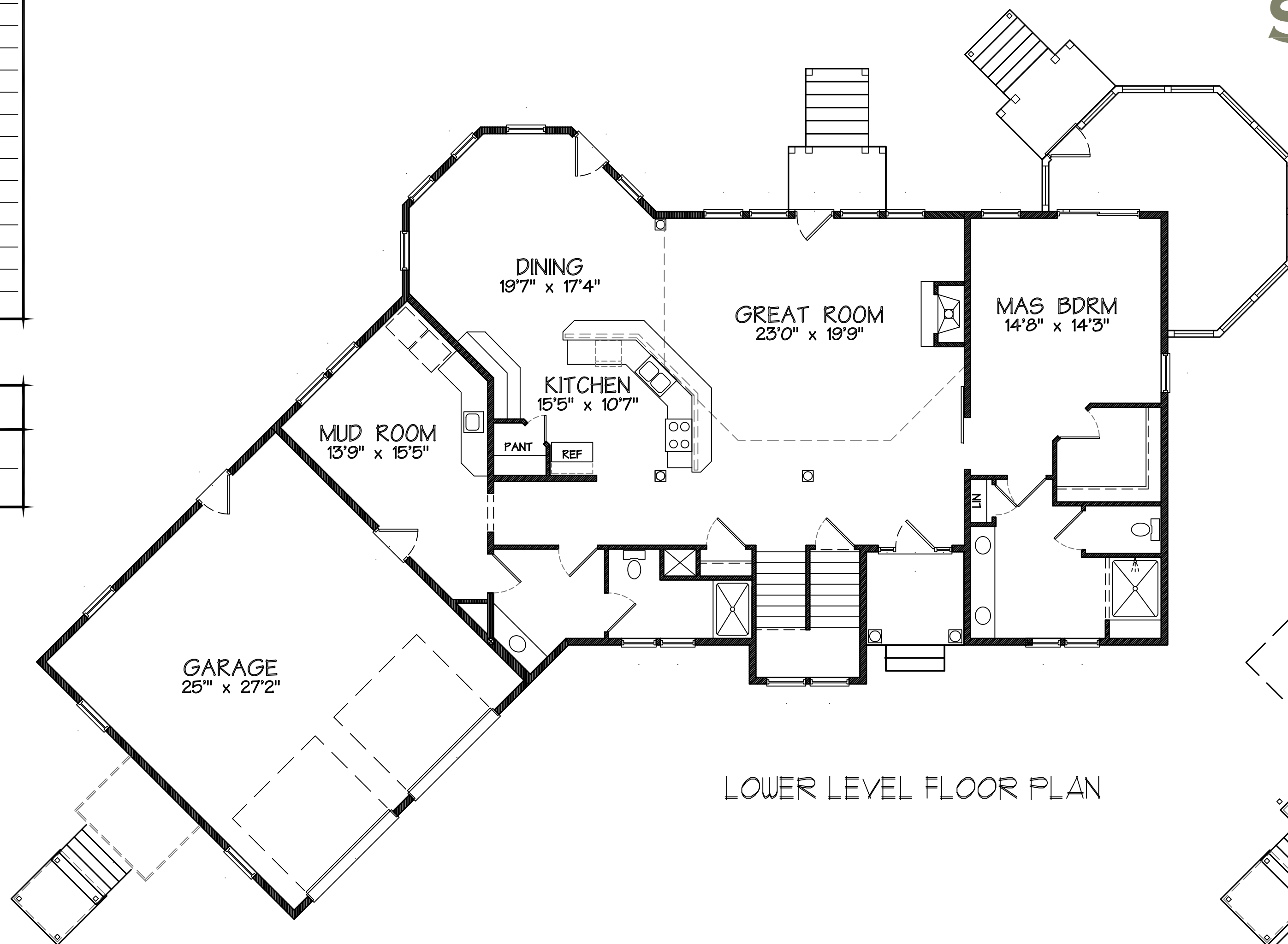
CODE COMPLIANCE

INTERNATIONAL RESIDENTIAL CODE 2015
VIRGINIA USBC 2015 EDITION

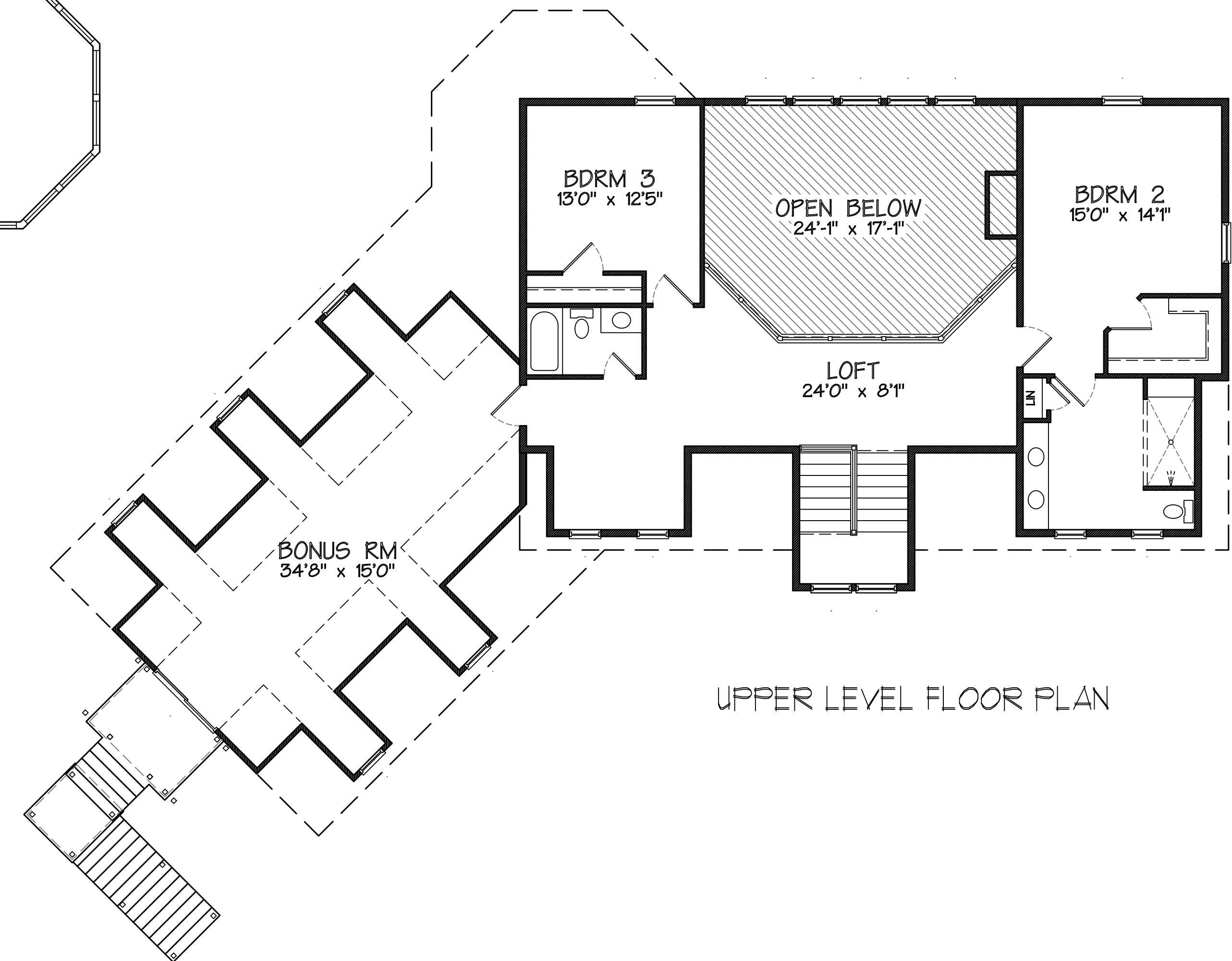


FRONT ELEVATION

SACRA CUSTOM HOMES
BARCUS RESIDENCE



LOWER LEVEL FLOOR PLAN



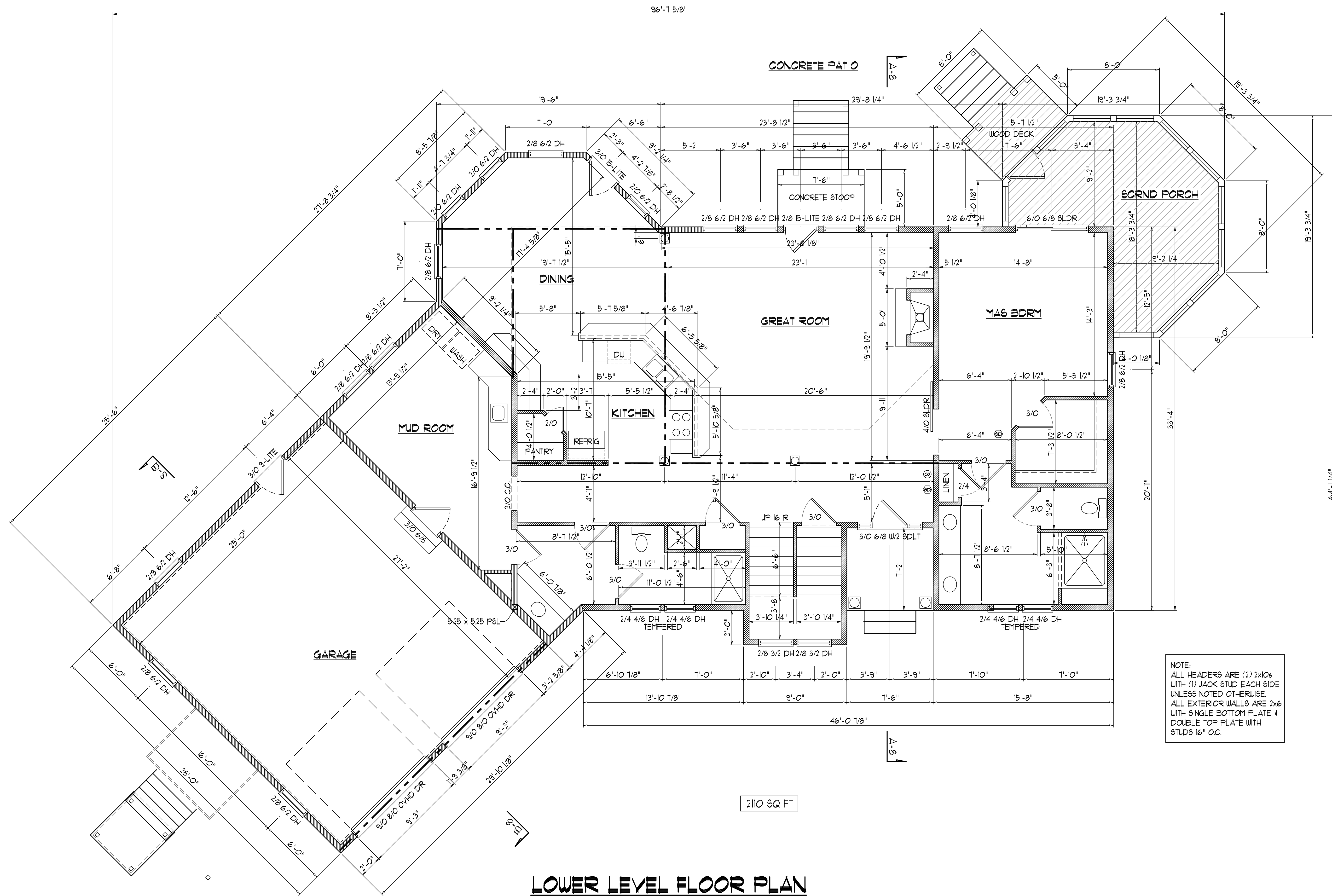
UPPER LEVEL FLOOR PLAN

MIKE CALVIN - PLANSHOP, LLC
11505 ROSLYN ROAD
FREDERICKSBURG, VA 22401
PHONE: (540) 786-4221 FAX: (540) 785-1113

DATE: 06/22/15
PAGE: 1 OF 11
FILE: BARCUS(11)
SCALE: NONE

MODEL: THE BARCUS RESIDENCE
TITLE: FLOOR PLAN

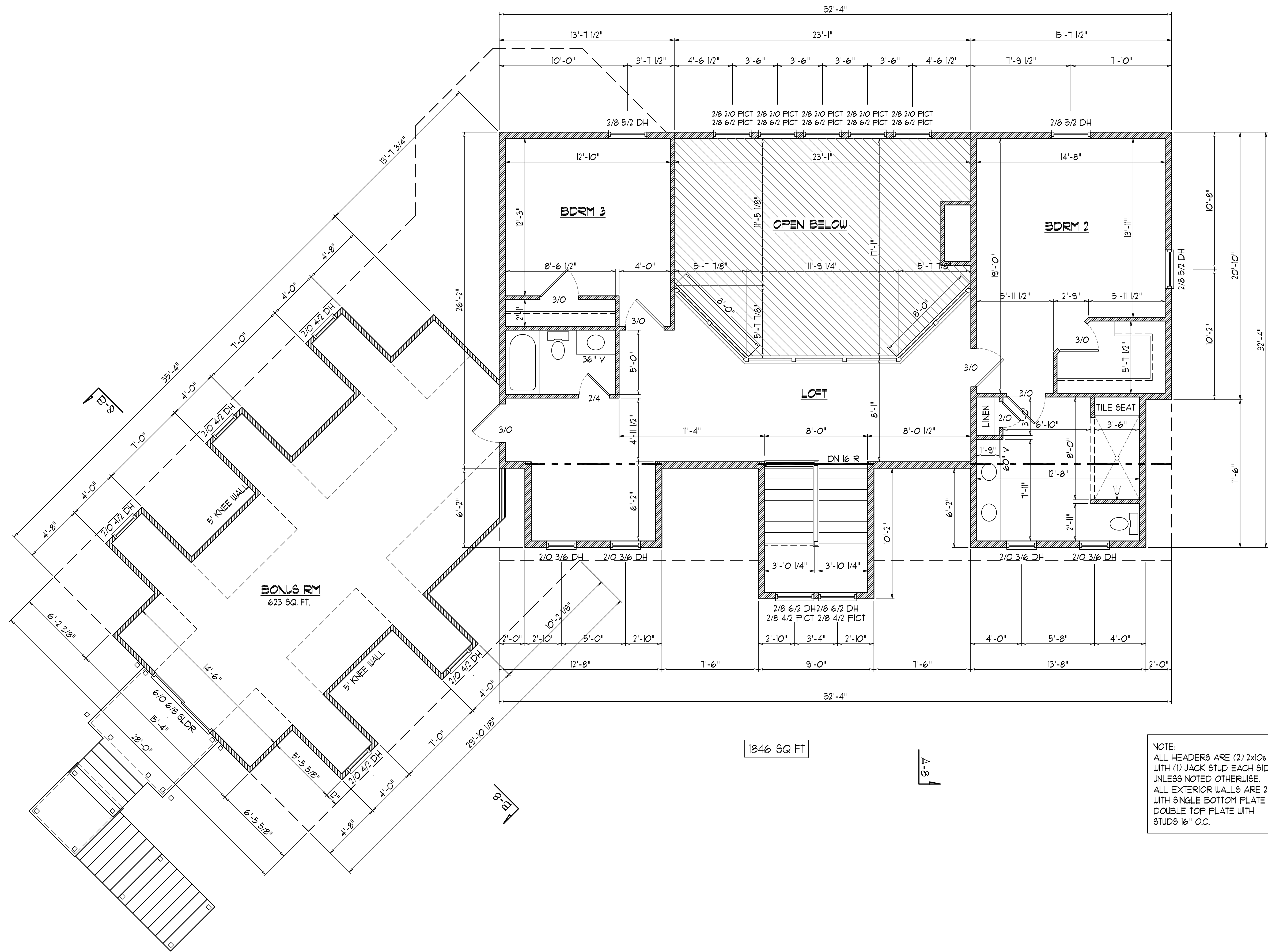
PLANSHOP.BIZ
HOMES DESIGNED FOR OPTIMUM VALUE



LOWER LEVEL FLOOR PLAN

2110 SQ FT

NOTE:
 ALL HEADERS ARE (2) 2x10s
 WITH (1) JACK STUD EACH SIDE
 UNLESS NOTED OTHERWISE.
 ALL EXTERIOR WALLS ARE 2x6
 WITH SINGLE BOTTOM PLATE &
 DOUBLE TOP PLATE WITH
 STUDS 16" O.C.



UPPER LEVEL FLOOR PLAN

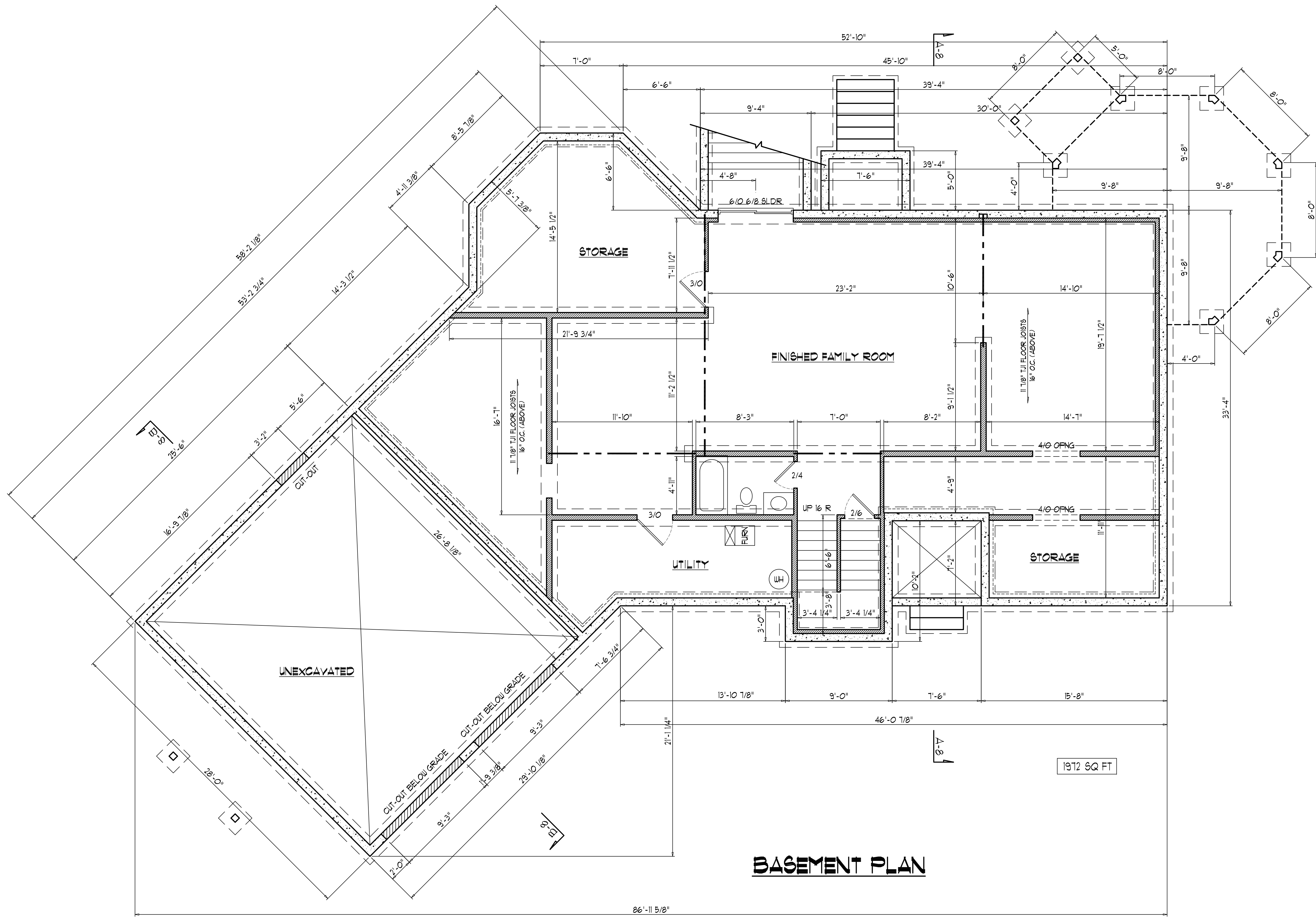
MIKE CALVIN - PLANSHOP, LLC
11505 ROSLYN ROAD
FREDERICKSBURG, VA 22401
PHONE: (540) 786-4221 FAX: (540) 785-1113

DATE: 06/22/15
PAGE: 3 OF 11

FILE: BARCUS(11)
SCALE: 1/4 INCH = 12 INCH

THE BARCUS RESIDENCE
UPPER LEVEL FLOOR PLAN

PLANSHOP.BIZ
HOMES DESIGNED FOR OPTIMUM VALUE



BASEMENT PLAN

1912 SQ FT



LEFT SIDE ELEVATION



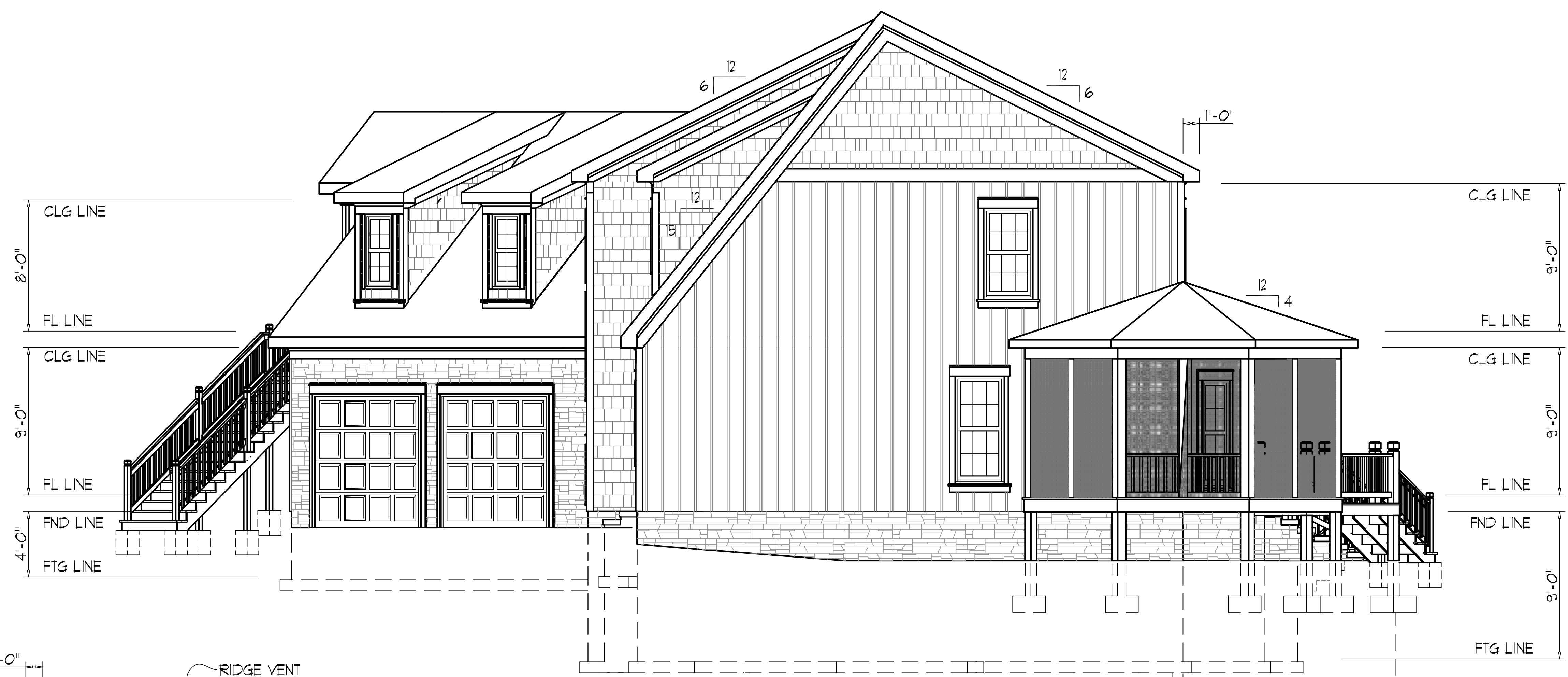
FRONT ELEVATION

MIKE CALVIN - PLANSHOP, LLC
 11505 ROSLYN ROAD
 FREDERICKSBURG, VA 22401
 PHONE: (540) 786-4221 FAX: (540) 785-1113

FILE: BARCUS(11) DATE: 06/22/15
 SCALE: 1/4 INCH = 12 INCH PAGE: 5 OF 11

PROJECT: THE BARCUS RESIDENCE
 TITLE: FRONT & LEFT SIDE ELEV

PLANSHOP.BIZ
 HOMES DESIGNED FOR OPTIMUM VALUE



RIGHT SIDE ELEVATION



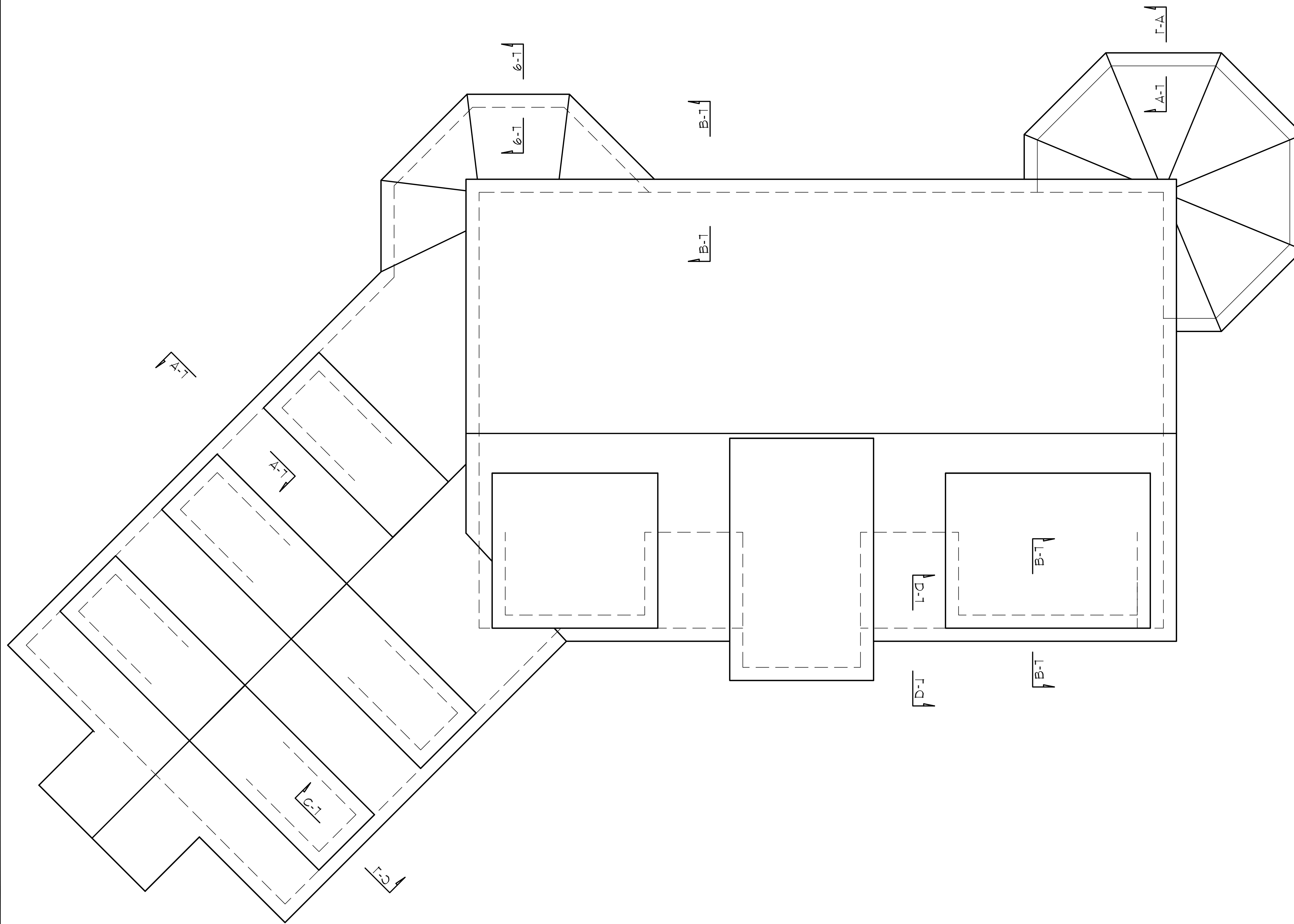
REAR ELEVATION

MIKE CALVIN - PLANSHOP, LLC
 11505 ROSLYN ROAD
 FREDERICKSBURG, VA 22401
 PHONE: (540) 786-4221 FAX: (540) 785-1113

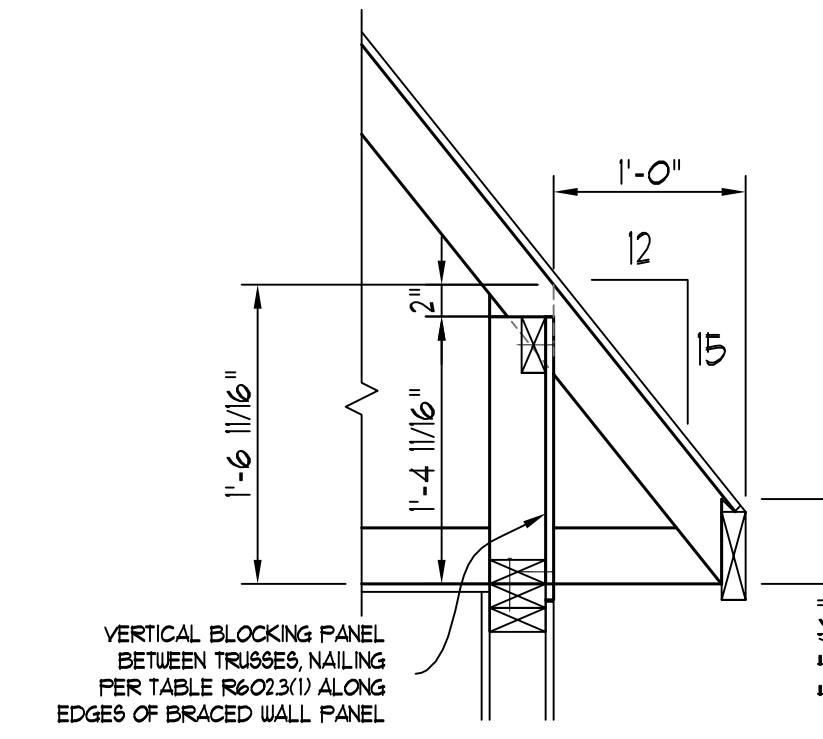
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 FILE: BARCUS(11)
 SCALE: 1/4 INCH = 12 INCH
 PAGE: 6 OF 11

THE BARCUS RESIDENCE
 REAR & LEFT SIDE ELEV

PLANSHOP.BIZ
 HOMES DESIGNED FOR OPTIMUM VALUE



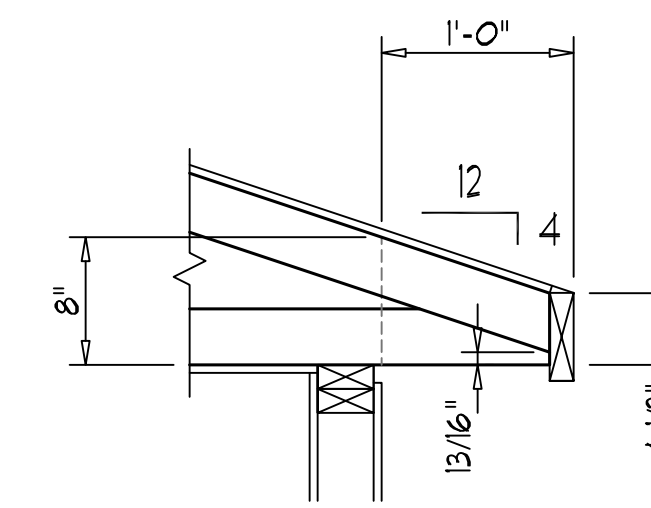
ROOF PLAN



VERTICAL BLOCKING PANEL BETWEEN TRUSSES NAILING PER TABLE R6-02.3(1) ALONG EDGES OF BRACED WALL PANEL

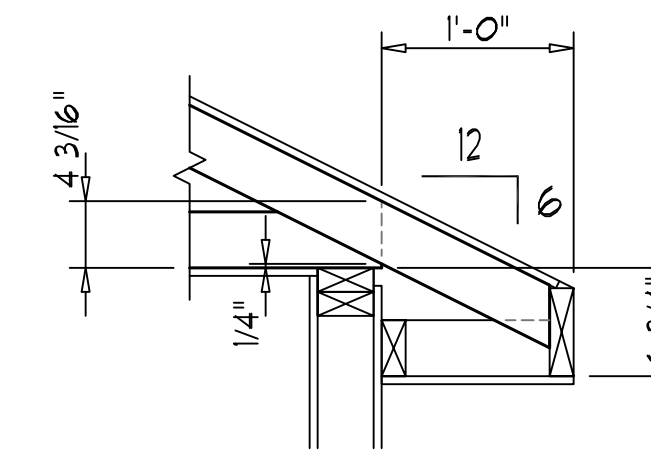
SECTION "D-1"

SCALE - 1" = 12"



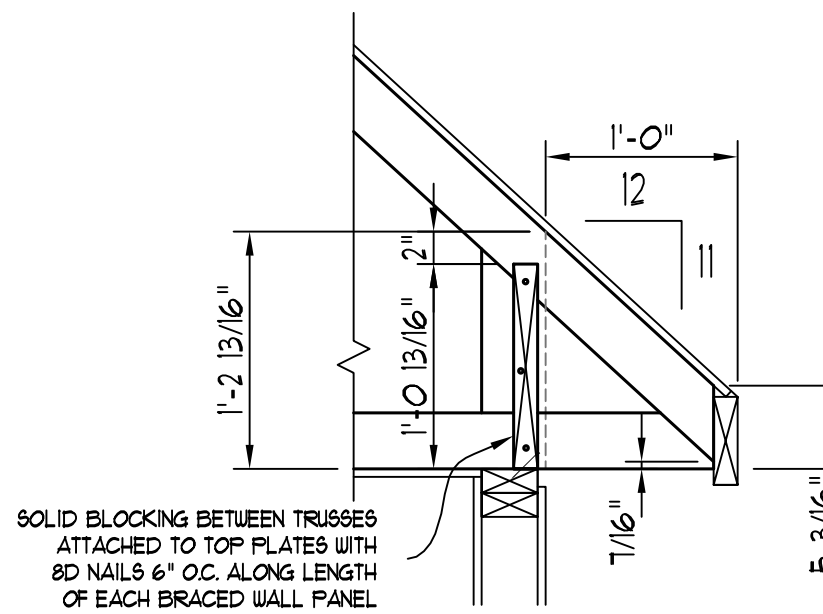
SECTION "C-1"

SCALE - 1" = 12"



SECTION "B-1"

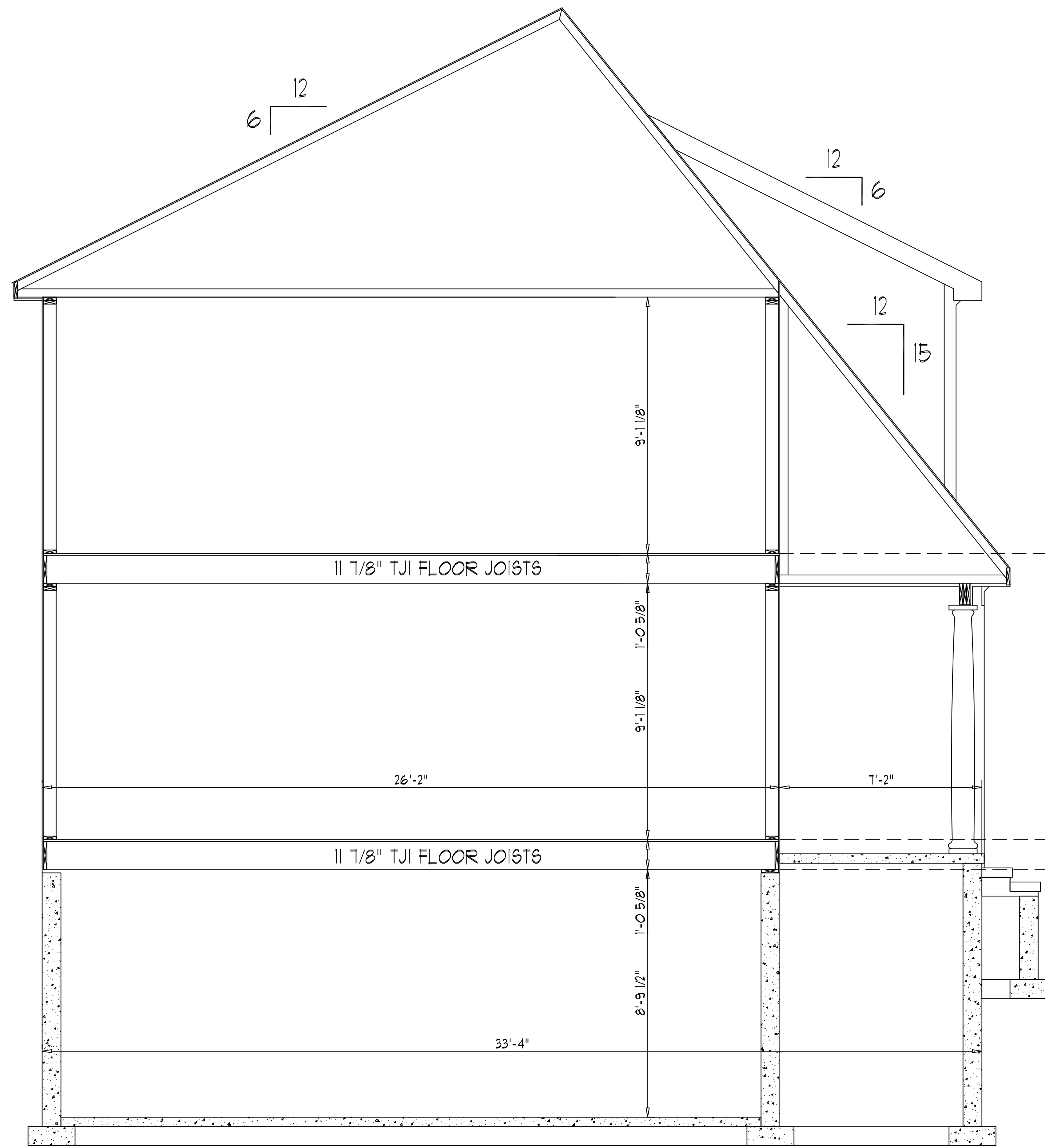
SCALE - 1" = 12"



SOLID BLOCKING BETWEEN TRUSSES ATTACHED TO TOP PLATES WITH 8D NAILS @ 6" O.C. ALONG LENGTH OF EACH BRACED WALL PANEL

SECTION "A-1"

SCALE - 1" = 12"

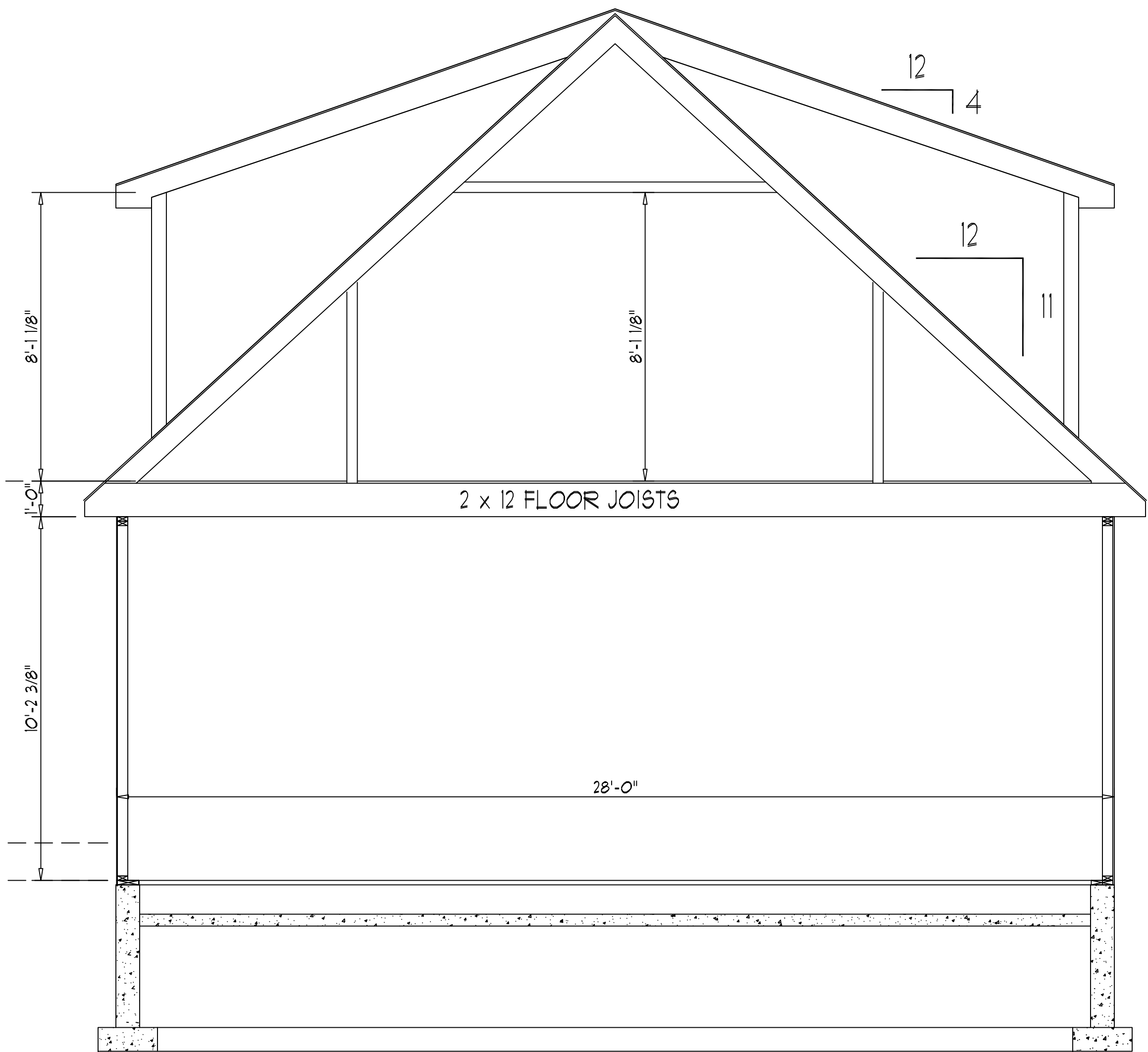


CROSS SECTION "A"

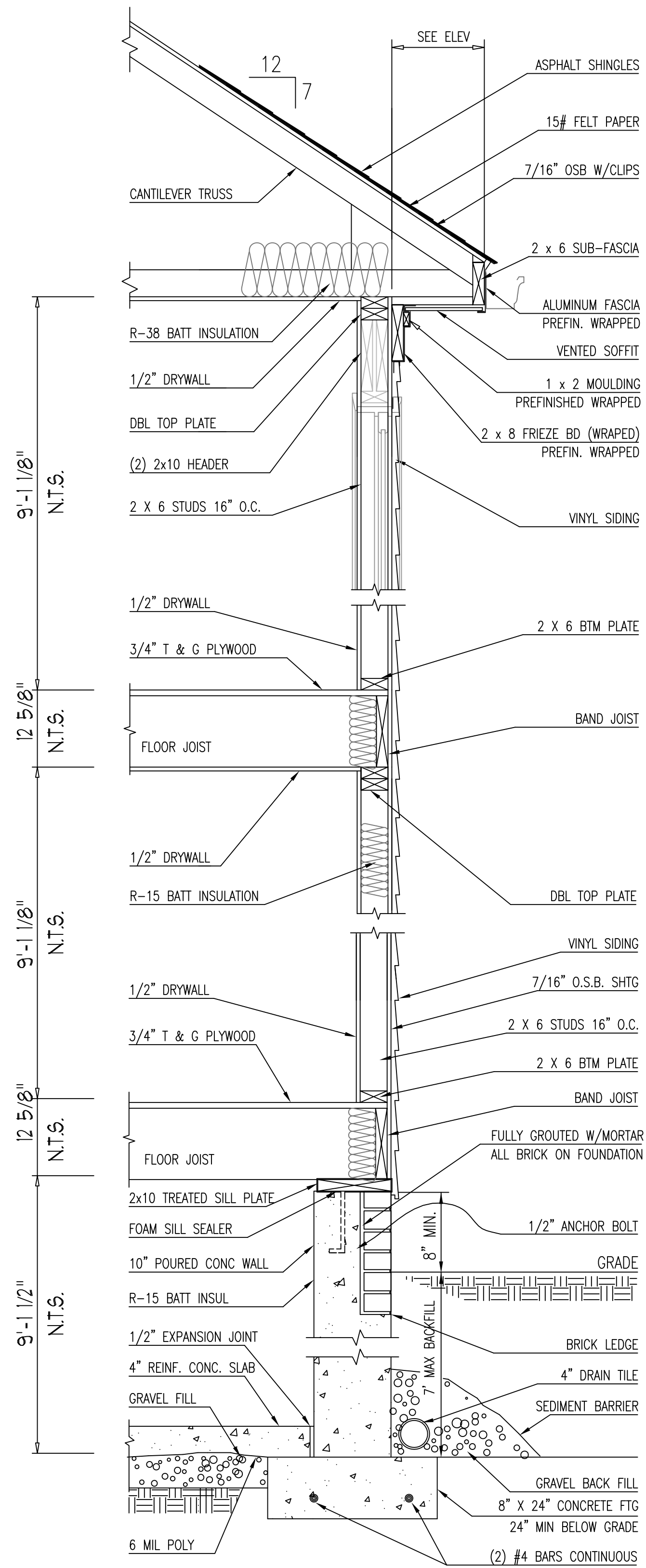
TOP OF 2 ST FLOOR

TOP OF 1 ST FLOOR

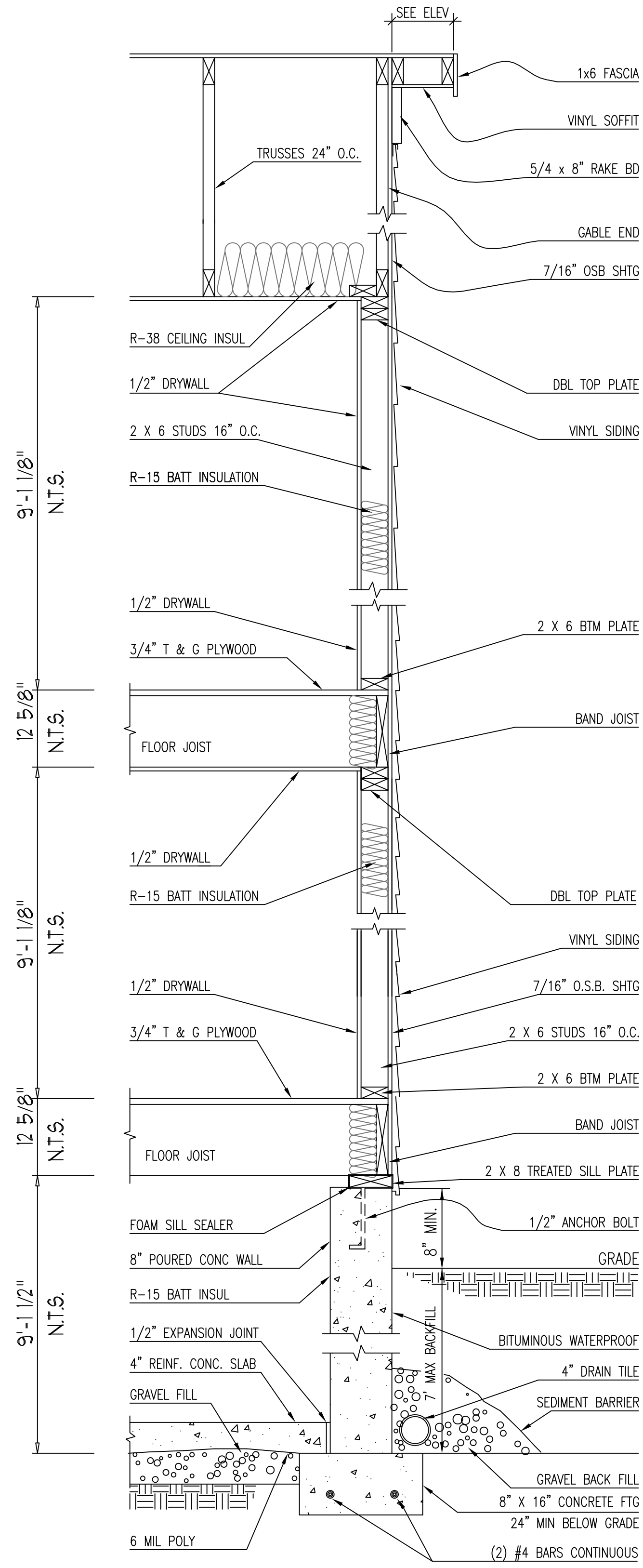
TOP OF FOUNDATION



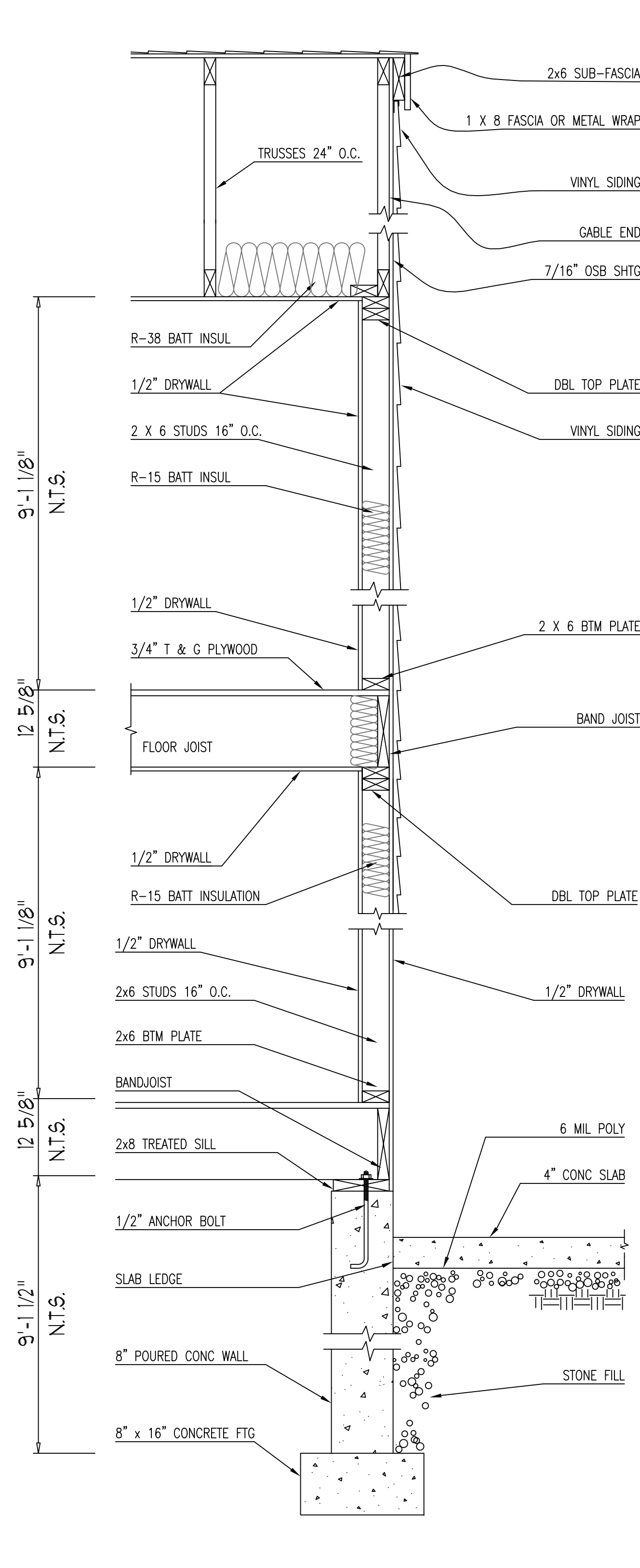
CROSS SECTION "B"



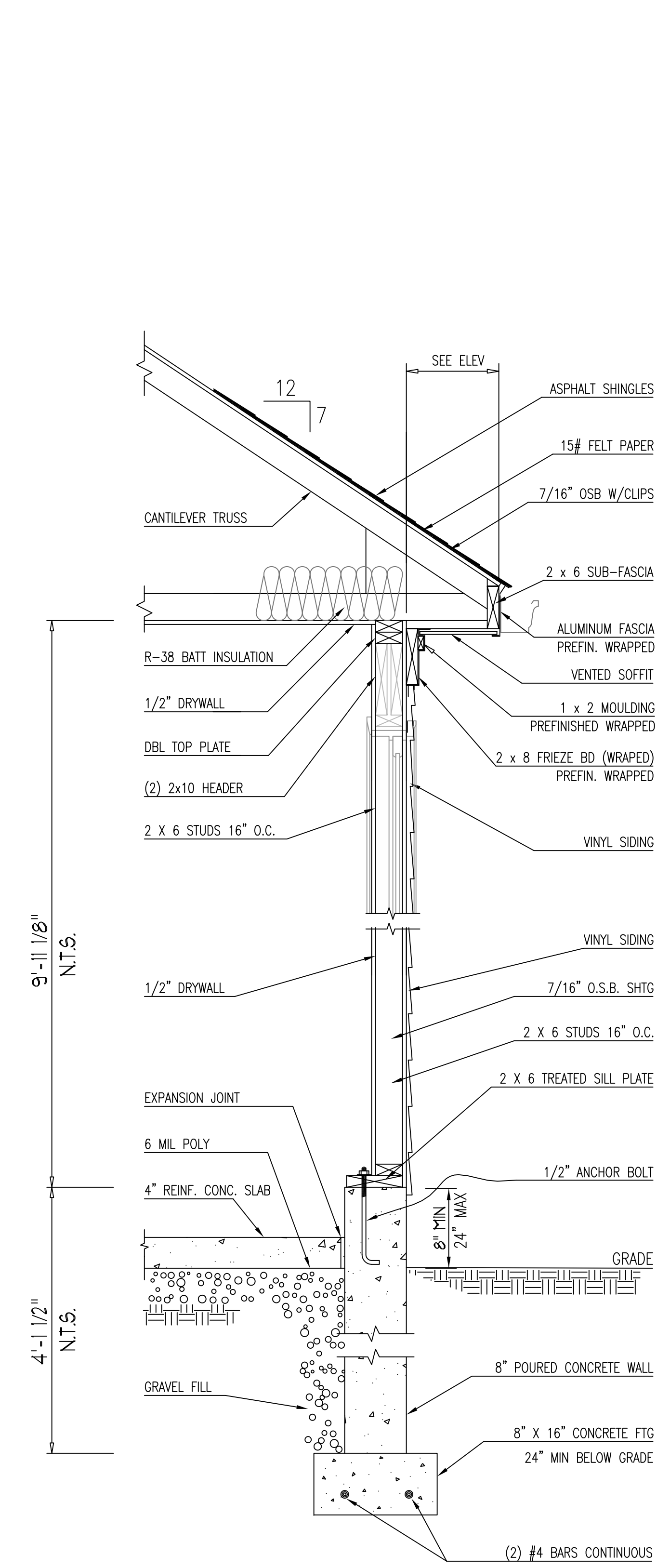
A-9 TYPICAL 2-STORY WALL SECTION



B-9 TYPICAL 2-STORY GABLE



C-9 COMMON GARAGE WALL



D-9 TYPICAL GARAGE WALL SECTION

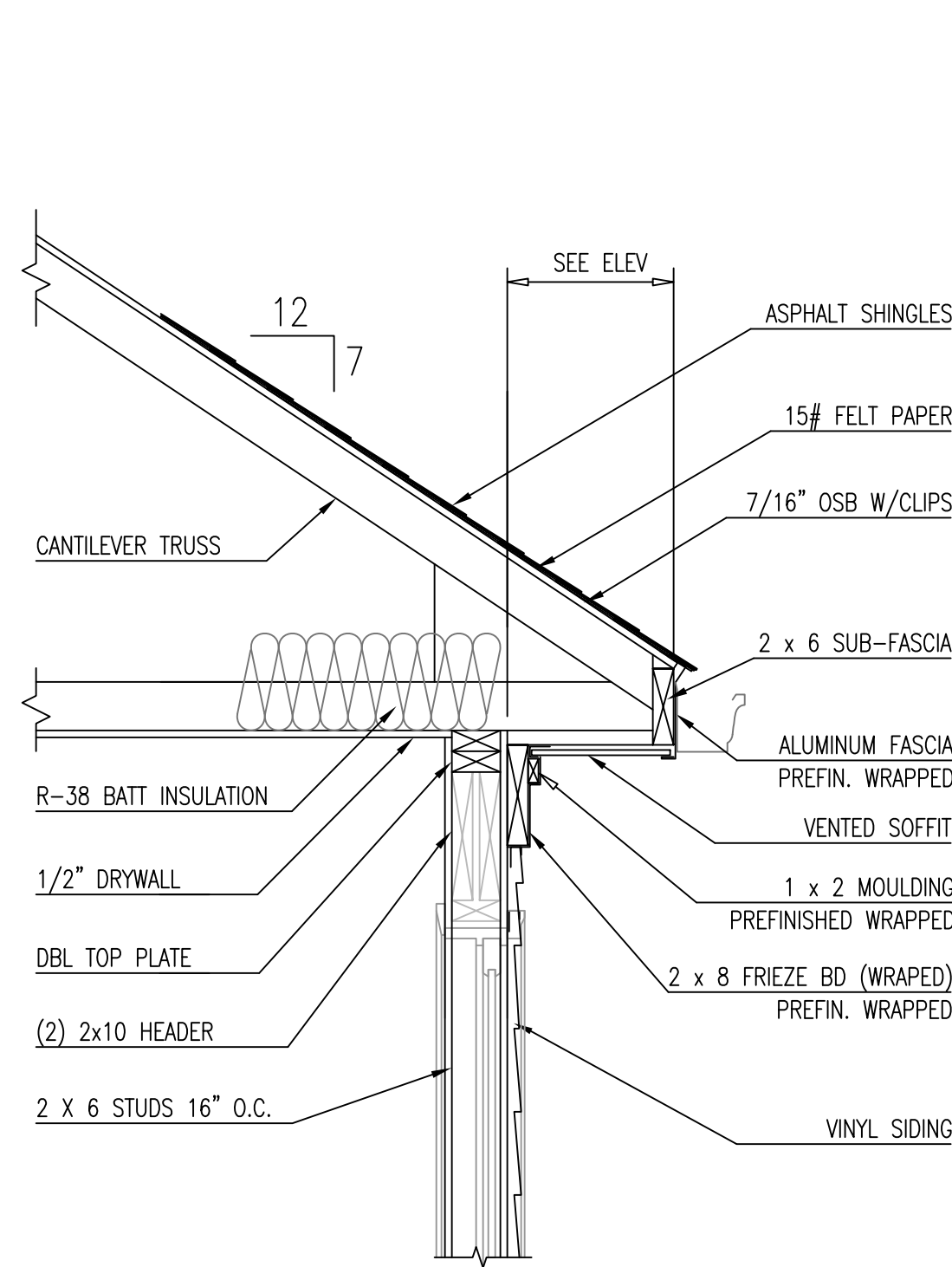
5/16/2015 4:49:43 PM, mkkcalvin

VERTICAL REBAR SPACING

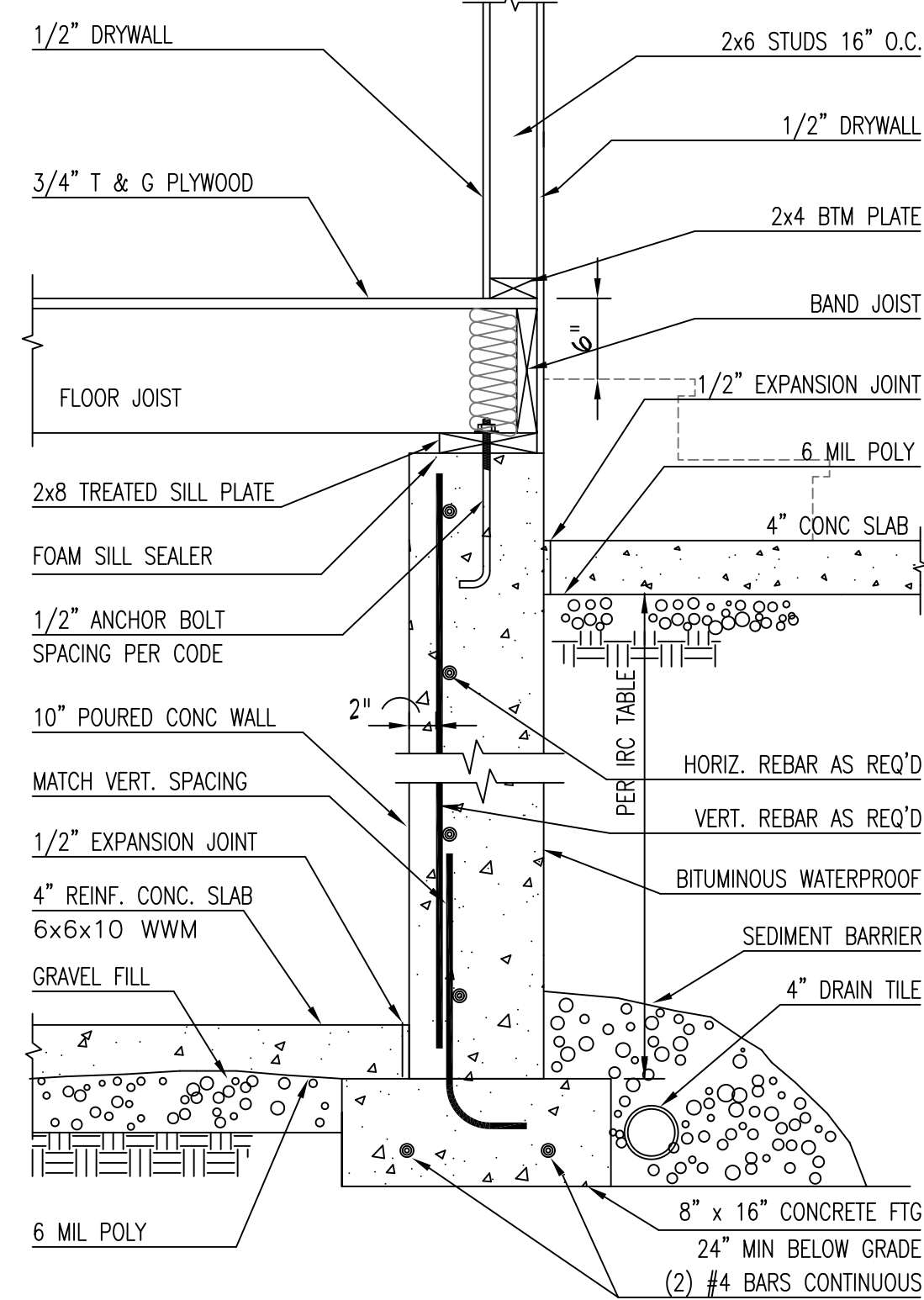
1 FT. TO 1.5 FT. FILL - #4 BARS @ 12" O.C.
 6 FT. TO 1 FT. FILL - #4 BARS @ 18" O.C.
 5 FT. TO 6 FT. FILL - #4 BARS @ 24" O.C.
 LESS THAN 5 FT. - NO VERTICAL BARS REQUIRED
 BALANCED FILL - NO VERTICAL REBAR REQUIRED

HORIZONTAL REBAR SPACING

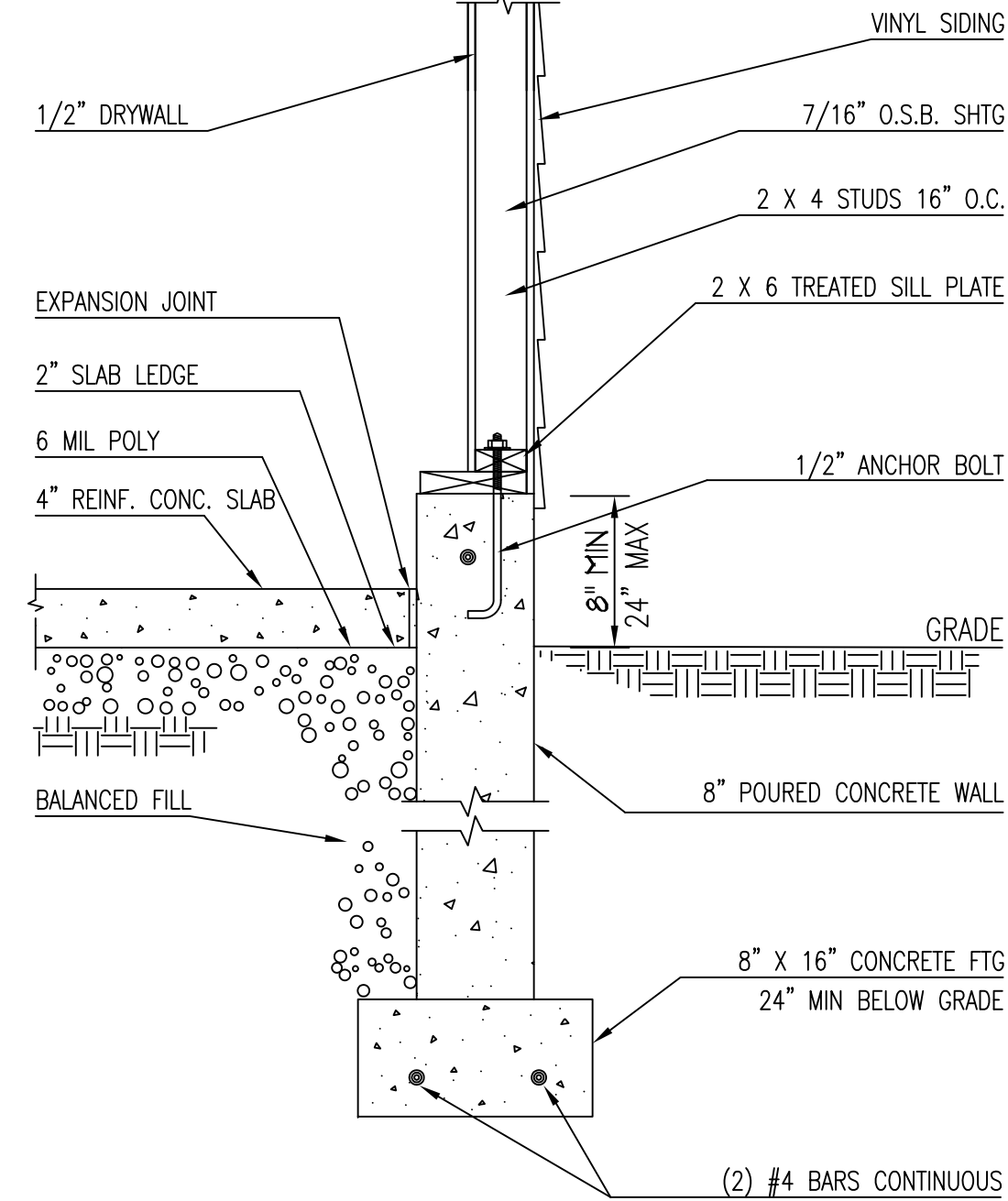
#4 BARS @ 24" O.C.



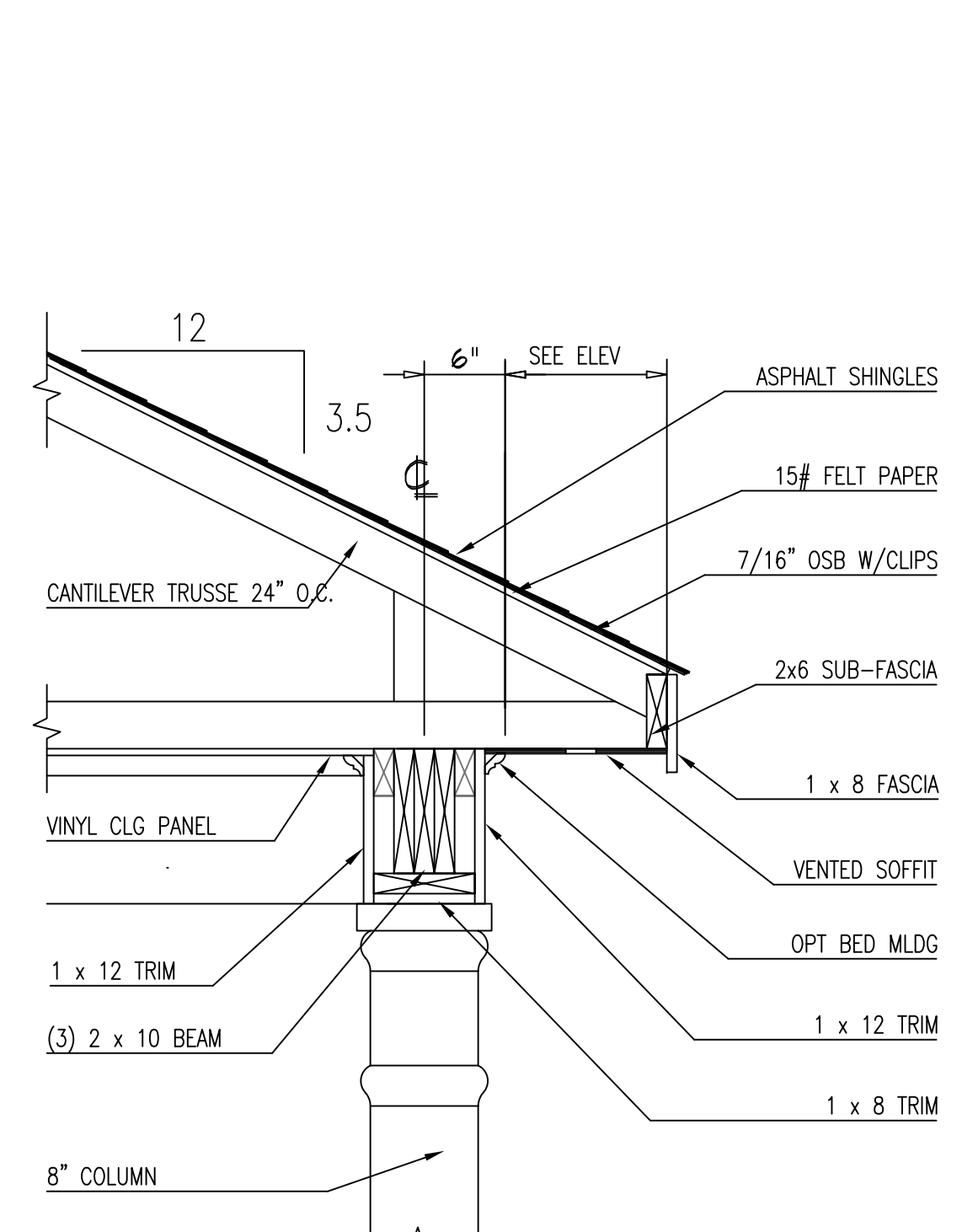
CANTILEVERED TRUSS OVERHANG



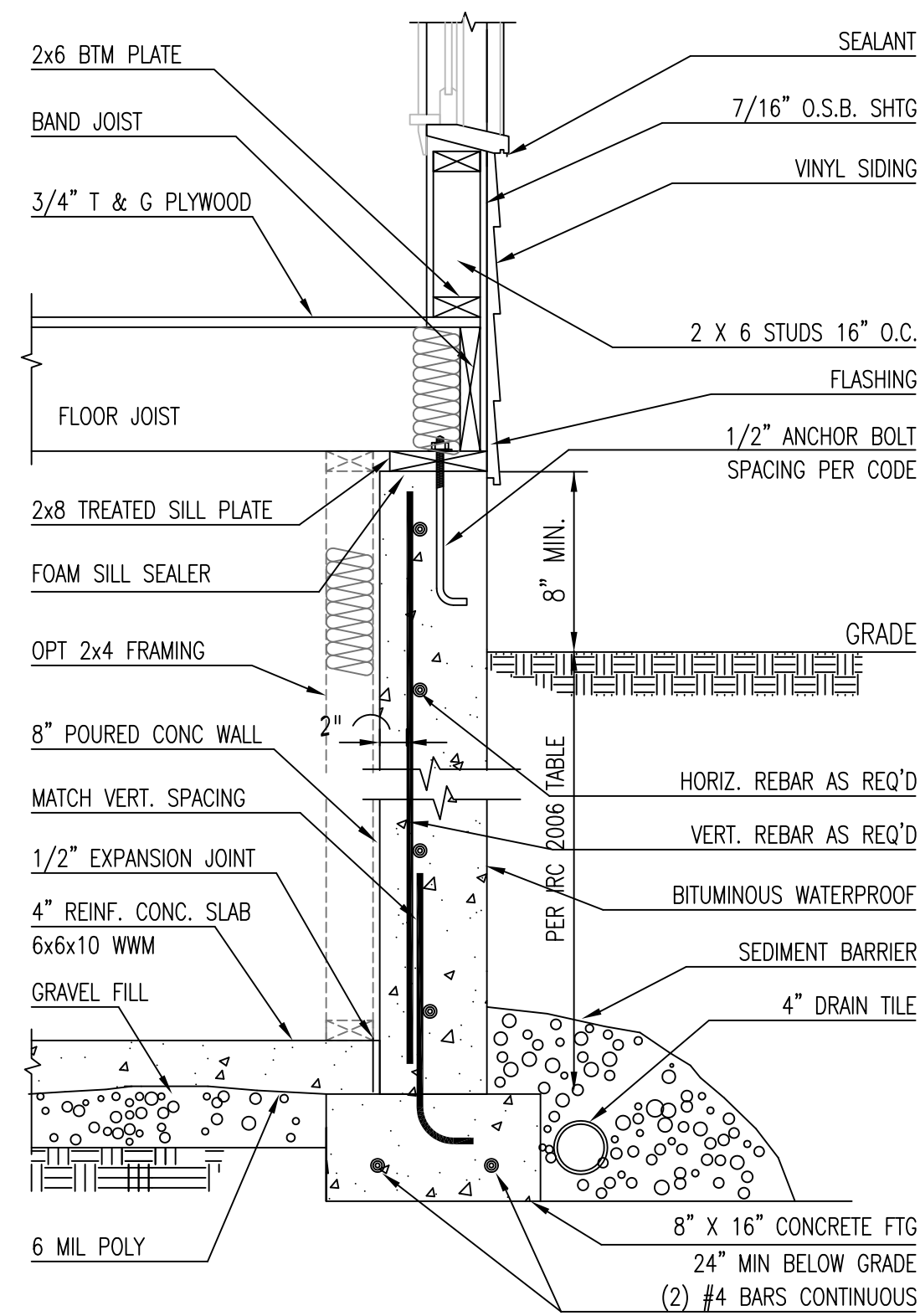
COMMON GARAGE WALL



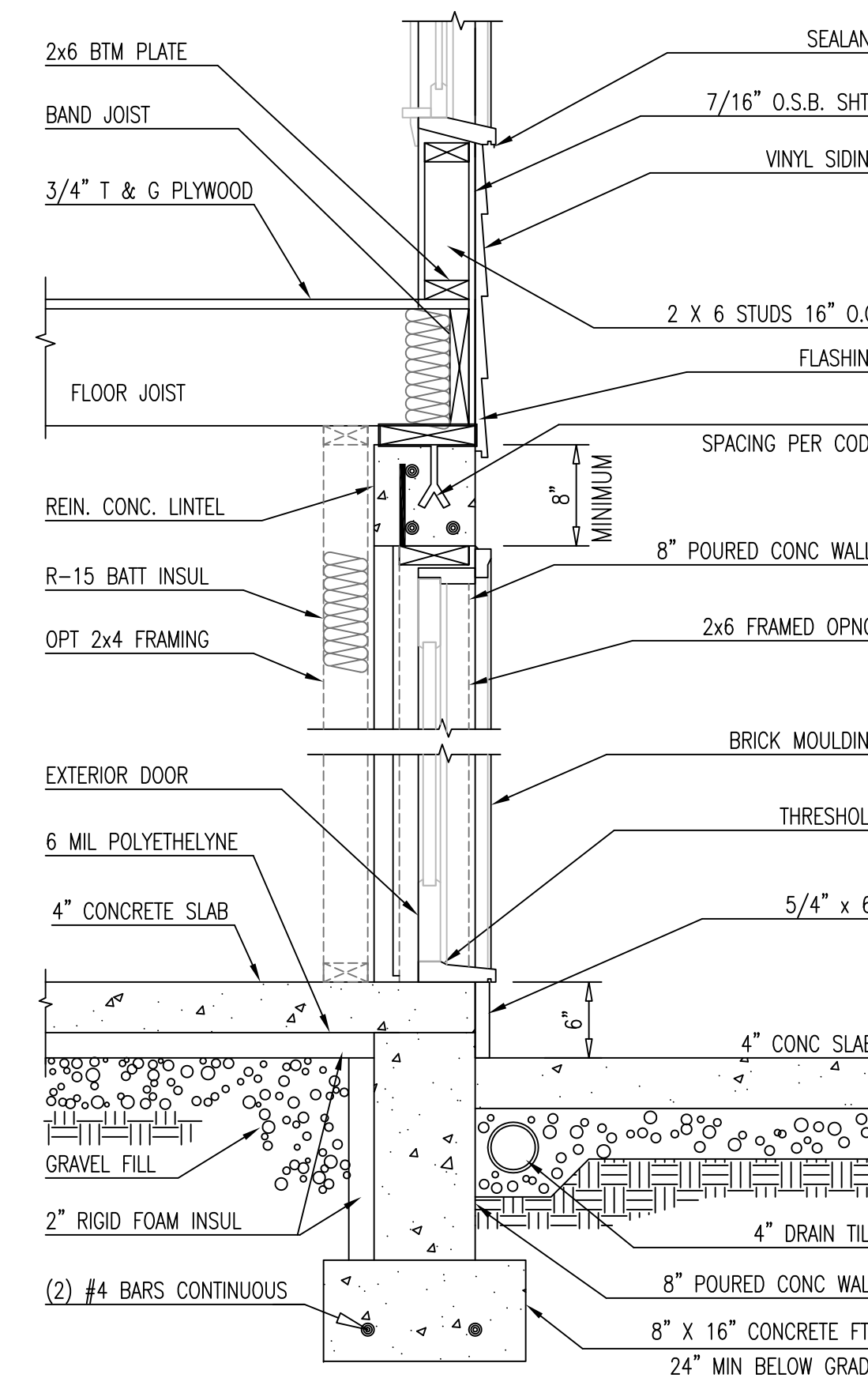
TYPICAL GARAGE WALL



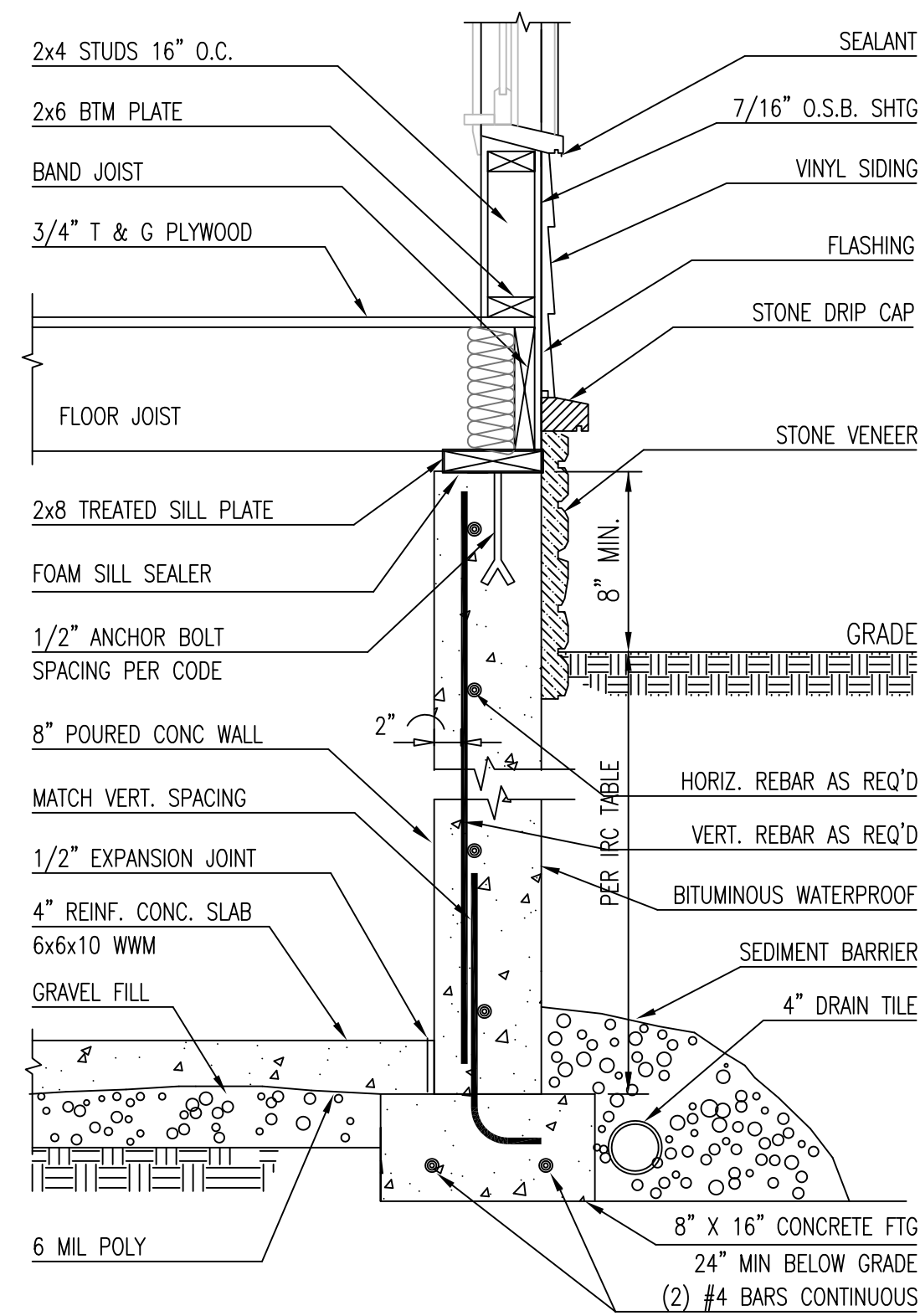
PORCH BEAM SECTION



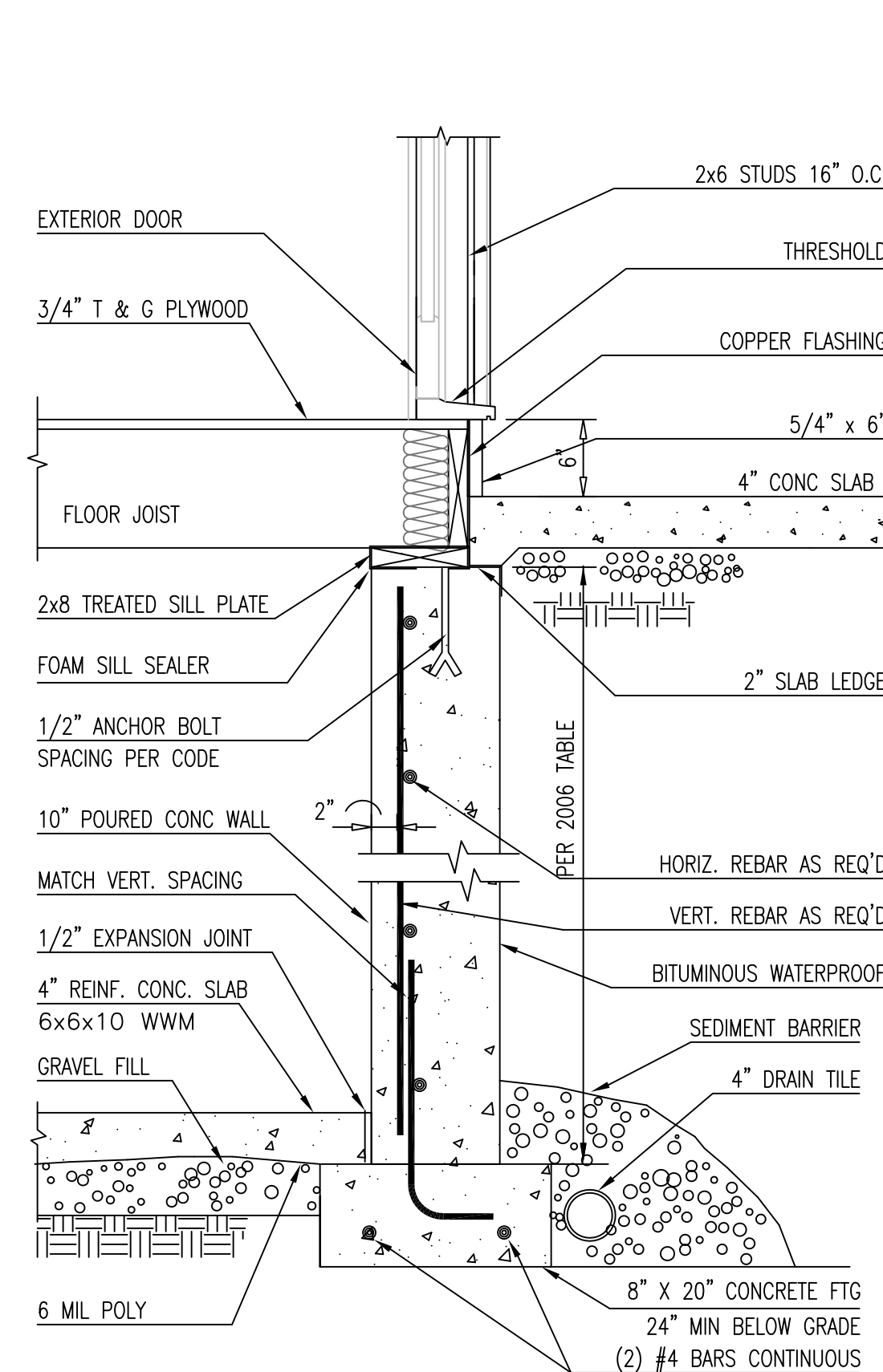
TYPICAL BASEMENT WALL SECTION



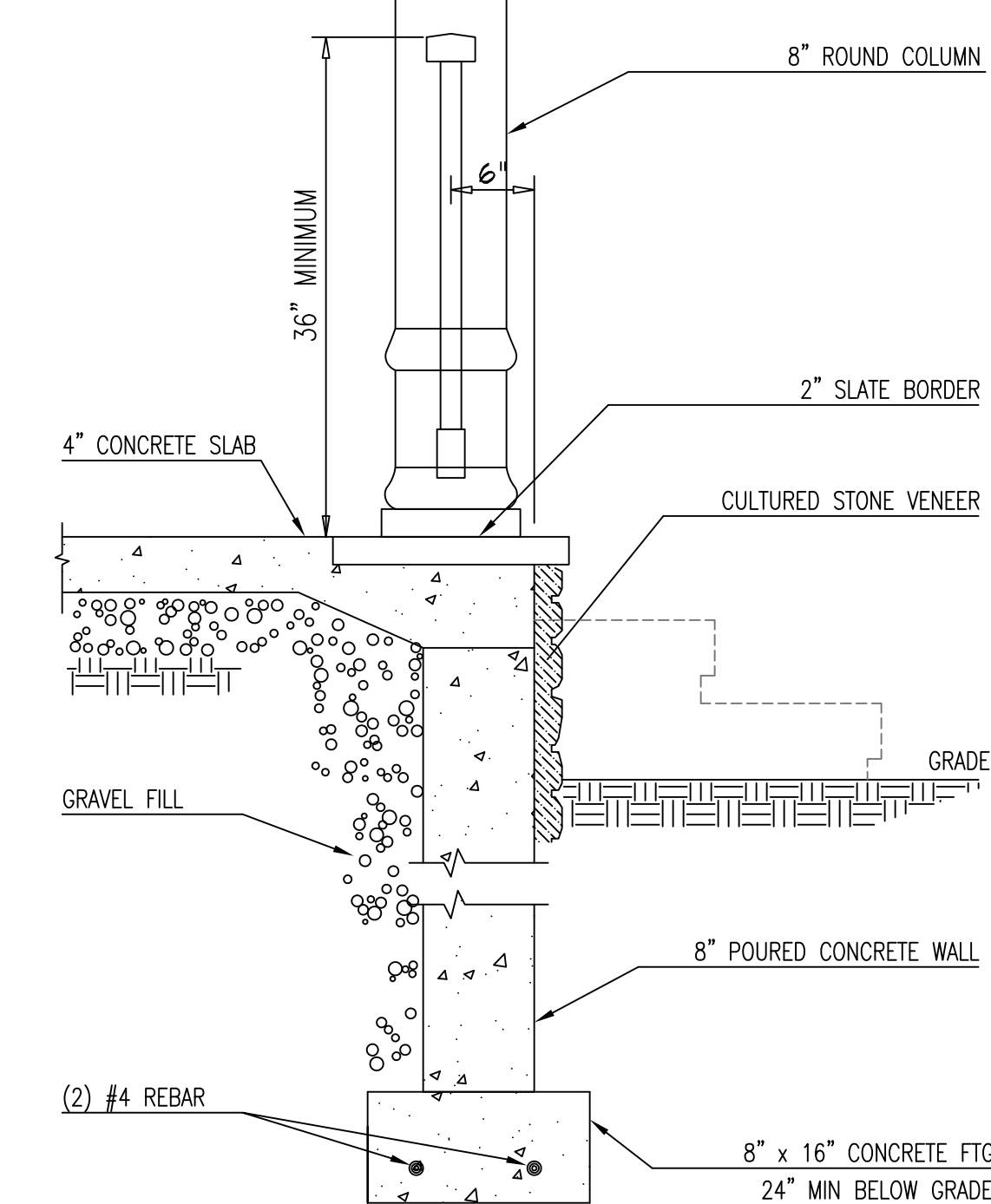
BASEMENT WALK-OUT CONDITION



BASEMENT WALL WITH STONE FOUNDATION



CONCRETE PORCH FLOOR WITH BASEMENT



PORCH FLOOR WITH STONE VENEER

GENERAL NOTES:

THIS PLAN WAS DESIGNED AND DRAFTED BY PLANSHOP, LLC TO MEET NORMAL CONDITIONS AND BUILDING CODES. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS TO A SPECIFIC BUILDING SITE BEFORE BEGINNING CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO PLANSHOP, LLC IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE OVERLOOKED OR NOT REPORTED.

ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NOT SCALED FROM COPIES OF PLAN. SCALE MAY NOT BE ACCURATE ON REDUCED COPIES. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 24" BELOW FINISHED GRADE AND MUST BEAR ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2000 PSF. CONSULT LOCAL ENGINEER OR BUILDING OFFICIAL FOR PROPER FOOTING SIZE AND REINFORCING. MAXIMUM BACKFILL IS 1' FOR 10" WALLS AND 6' FOR 8" CONCRETE WALLS. UNBALANCED FILL SHALL NOT EXCEED TABLE 404.11A.

ALL STRUCTURAL COMPONENTS INDICATED ON THIS PLAN MUST BE VERIFIED AND STAMPED BY AN ENGINEER AS REQUIRED BY THE STATE WHERE CONSTRUCTION WILL OCCURE.

STRUCTURAL NOTES:

FOUNDATION WALLS ARE 8" REINFORCED POURED CONCRETE. PROVIDE ASPHALT BASED WATERPROOFING AND CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT OR CRAWL SPACE IF REQUIRED BY LOCAL CODES. CONSULT LOCAL BUILDING OFFICIAL FOR SPECIFIC REQUIREMENTS.

PROVIDE SIMPSON MAS FOUNDATION ANCHOR 12" FROM EACH CORNER & A MAXIMUM OF 6 FT O.C. AROUND PERIMETER OF FOUNDATION. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

ALL EXTERIOR SLABS ON GRADE SHALL BE 3000 PSI AND BEAR ON 4" COMPACTED GRANULAR FILL WITH 6X6 - 10X10 WELDED WIRE MESH. INTERIOR CONCRETE SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH. PROVIDE PROPER EXPANSION AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.

FLOOR FRAMING SHALL MEET OR EXCEED 40 PSF LIVE LOAD AND 15 PSF DEAD LOAD. ROOF FRAMING SHALL MEET OR EXCEED 30 PSF LIVE LOAD AND 20 LBS PSF DEAD LOAD. LIVE LOADS DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY SPECIAL LOADING CONDITIONS WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND ADJUSTMENTS TO PLANS MADE ACCORDINGLY. CONSULT YOUR LOCAL BUILDING OFFICIAL FOR VERIFICATION OF YOUR SPECIFIC DESIGN REQUIREMENTS.

PROVIDE CORNER BRACING WITH EITHER 1/16" STRUCTURAL OSB, 12 CDX PLYWOOD OR METAL WIND BRACES.

FRAMING NOTES:

ALL FRAMING LUMBER TO BE #2 HEM FIR OR #2 S.P.F. OR BETTER UNLESS INDICATED OTHERWISE. EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF 1/2" RIGID INSULATION OR SHEATHING. INTERIOR WALL ARE DIMENSIONED TO FRAMING USING STANDARD 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE. ALL ANGLED WALL INDICATED ON FLOOR PLAN ARE 45 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR DOOR AND WINDOW HEADERS AND BEARING WALL OPENINGS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD OR OSB FLITCH PLATE UNLESS NOTED OTHERWISE. STANDARD HEADER HEIGHT IS 82" UNLESS NOTED OTHERWISE. ALL OPENINGS WHICH EXCEED 48" REQUIRE (2) JACKS AT EACH END.

FLOOR AND ROOF FRAMING PLANS SHALL BE PROVIDED BY MANUFACTURER OR SUPPLIER OF PRE ENGINEERED BUILDING COMPONENTS.

ROOF SHEATHING IS 7/16" OSB OR 1/2" CDX PLYWOOD WITH TECO PLYWOOD CLIPS BETWEEN ALL FRAMING MEMBERS.

MISCELLANEOUS NOTES:

PREFABRICATED FIREPLACES AND FLUE ARE TO BE UL APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

ALL INTERIOR WALLS AND CEILING ARE TO BE COVERED WITH 1/2" DRYWALL AND ALL BATH TUB AND SHOWERS WITH 1/2" WATER RESISTANT DRYWALL. GARAGE WALLS AND CEILING COMMON TO HOUSE SHALL HAVE 1/2" FIRE RATED DRYWALL.

ONE WINDOW IN EACH BEDROOM MUST HAVE A MINIMUM CLEAR OPENING OF 5.1 SQ. FT. WITH NO MEASUREMENT LESS THAN 24" HIGH AND 20" WIDE WITH A MAXIMUM SILL HEIGHT OF 44 INCHES.

PROVIDE FIRE STOPPING FOR FINISHED BASEMENT AND LOWER LEVEL (IF APPLICABLE) PER IRC 2012 SECTION M1803.3.1

ABBREVIATIONS

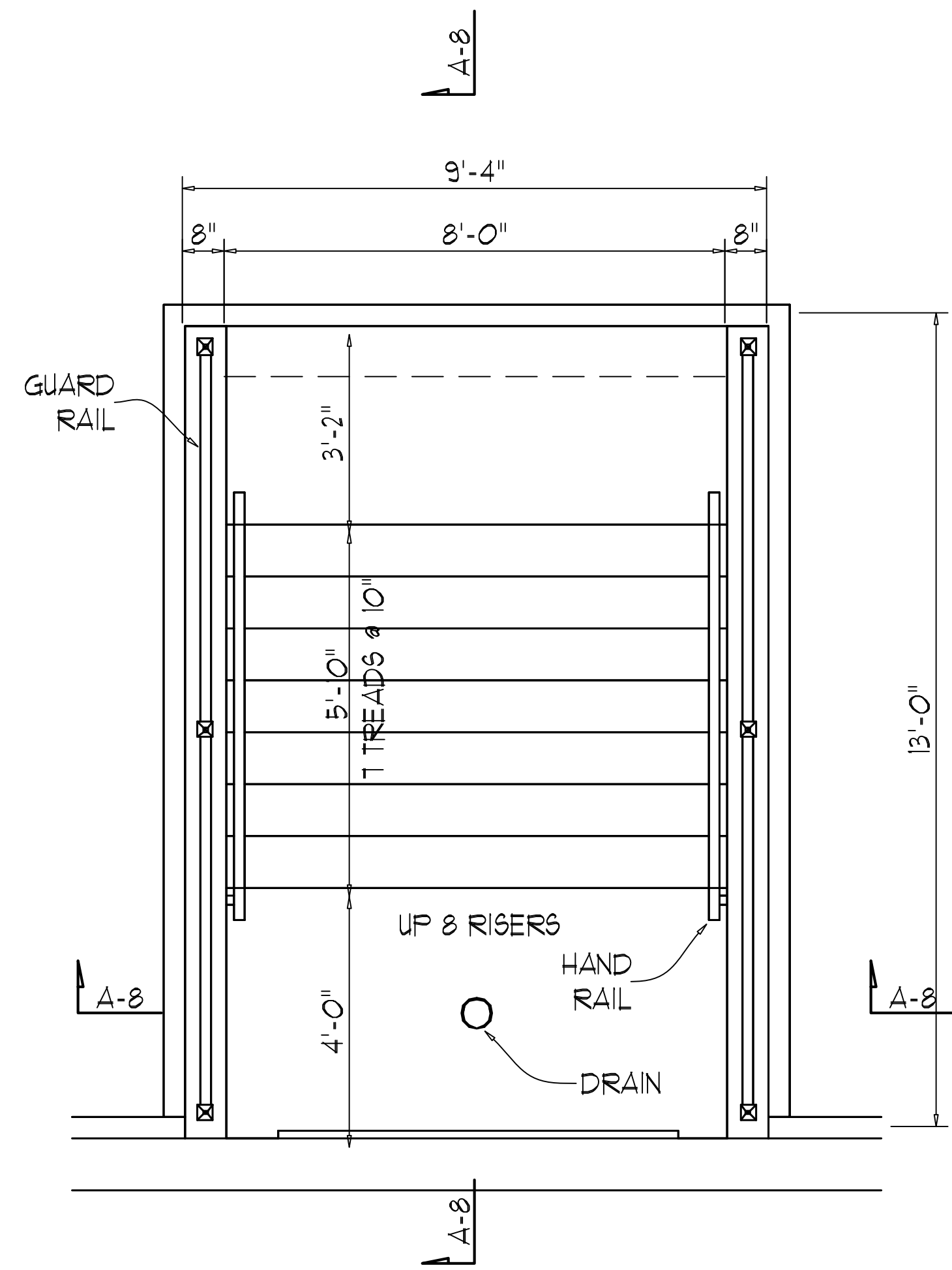
| | | | |
|--------|----------------------|---------|------------------|
| AFF. | ABOVE FINISHED FLOOR | L.S. | LAZY SUSAN |
| BLDG | BUILDING | MAX | MAXIMUM |
| BSMT | BASEMENT | MAS | MASTER |
| BDRM | BEDROOM | M/C | MEDICINE CABINET |
| BRKFST | BREAKFAST ROOM | MICRO | MICROWAVE |
| CATH | CATHEDRAL | MIN | MINIMUM |
| CANT | CANTILEVER | MISC | MISCELLANEOUS |
| CLG | CEILING | M.O. | MASONRY OPENING |
| C.O. | CASED OPENING | N.T.S. | NOT TO SCALE |
| CONC | CONCRETE | O.C. | ON CENTER |
| CSMT | CASEMENT | OCT | OCTAGON |
| DBL | DOUBLE | OPNG | OPENING |
| DH | DOUBLE HUNG | OPT | OPTIONAL |
| DIA | DIAMETER | P.C. | FULL CORD |
| DN | DOWN | PAN | PANTRY |
| DR | DOOR | PANT | PANTRY |
| DRY | DRYER | POLY | POLYETHYLENE |
| DW | DISHWASHER | PLYWD | PLYWOOD |
| ELEV | ELEVATION | R | RISER |
| ENT | ENTERTAINMENT | RAD | RADIUS |
| EXT | EXTERIOR | REFRG | REFRIGERATOR |
| FIN | FINISHED | RM | ROOM |
| FL | FLOOR | R.O. | ROUGH OPENING |
| FLUOR | FLUORESCENT | SH | SINGLE HUNG |
| FND | FOUNDATION | SHTG | SHEATHING |
| FTG | FOOTING | SLDR | SLIDER |
| FURN | FURNACE | SQ FT | SQUARE FEET |
| GALV | GALVANIZED | S.R.O. | DRYWALL OPENING |
| GFI | GROUND FAULT INTER. | STD | STANDARD |
| HDR | HEADER | T. & G. | TONGUE & GROOVE |
| HRDW | HARDWOOD | TRAN | TRANSOM |
| INSUL | INSULATION | V | VANITY |
| INT | INTERIOR | WASH | WASHER |
| JST | JOIST | WF. | WIDE FLANGE |
| L.V.L. | LAMINATED BEAM | WH | WATER HEATER |
| L/C | LAUNDRY CHUTE | WP | WEATHER PROOF |
| LIN | LINEN | W.W.M. | WELDED WIRE MESH |

SYMBOLS

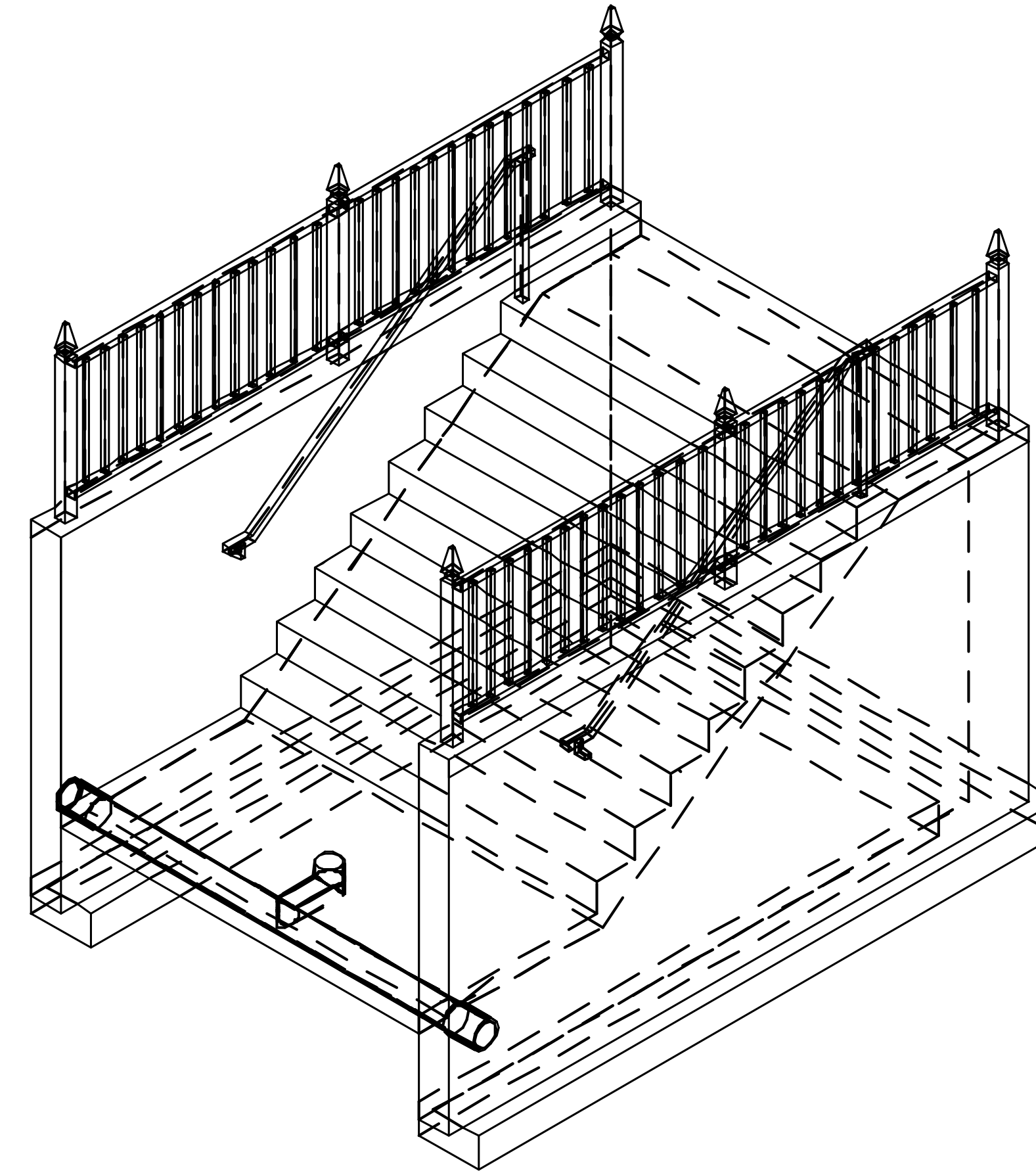
| | | | |
|------------------|--------------------|-----------------|----------------|
| ⊕ | CEILING LIGHT | ⊕ ^{UP} | WEATHERPROOF |
| ⊗ | RECESSED LIGHT | ⊕ | FLOOR RECEPT. |
| ⊥ | FLORESCENT | ⊕ | SMOKE DETECTOR |
| ⊕ ^{PC} | FULL CHORD | ▲ | TELEPHONE |
| ⊗ | BATH FAN | ▣ | CABLE TV |
| ⊗ | BATH FAN / LITE | ⊠ | SPEAKER |
| S | SINGLE POLE SWITCH | ⊕ | THERMOSTAT |
| S ³ | 3 WAY SWITCH | ⊕ | SECURITY PANEL |
| S ⁴ | 4 WAY SWITCH | ⊗ | PADDLE FAN |
| ⊕ | RECEPTACLE | ∇ | HEATDUCT |
| ⊕ ^{GFI} | GFI RECEPT. | ↺ | RETURN AIR |
| ⊕ ²²⁰ | 220 RECEPT. | | |

SQUARE FOOTAGE CALCULATIONS:

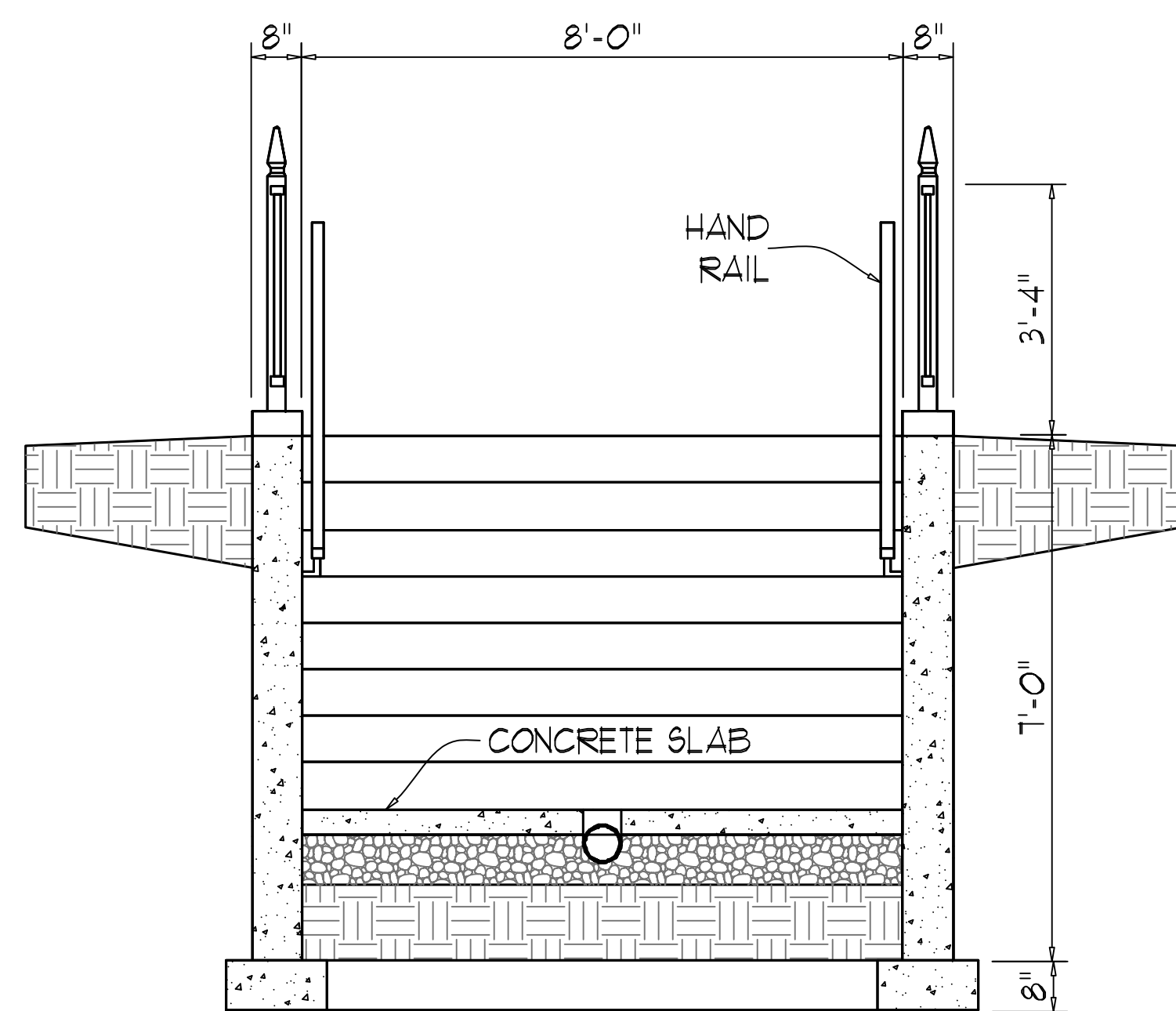
SQUARE FOOT CALCULATIONS BASED ON THE ANSI Z165-2003 STANDARD. CALCULATIONS ARE TAKEN FROM THE EXTERIOR SIDE OF STUD FRAMING. STAIRS ARE COUNTED AS YOU WOULD DESCEND (BOTH FIRST FLOOR AND SECOND FLOOR STAIRS ARE INCLUDED) FLOORS OPEN TO BELOW ARE NOT INCLUDED BONUS ROOMS REQUIRE A MIN. OF 50% OF THE FLOOR SPACE TO HAVE A CEILING HEIGHT OF 7' OR GREATER TO BE INCLUDED. NO SPACE WITH LESS THAN 5' KNEE WALLS IS INCLUDED.



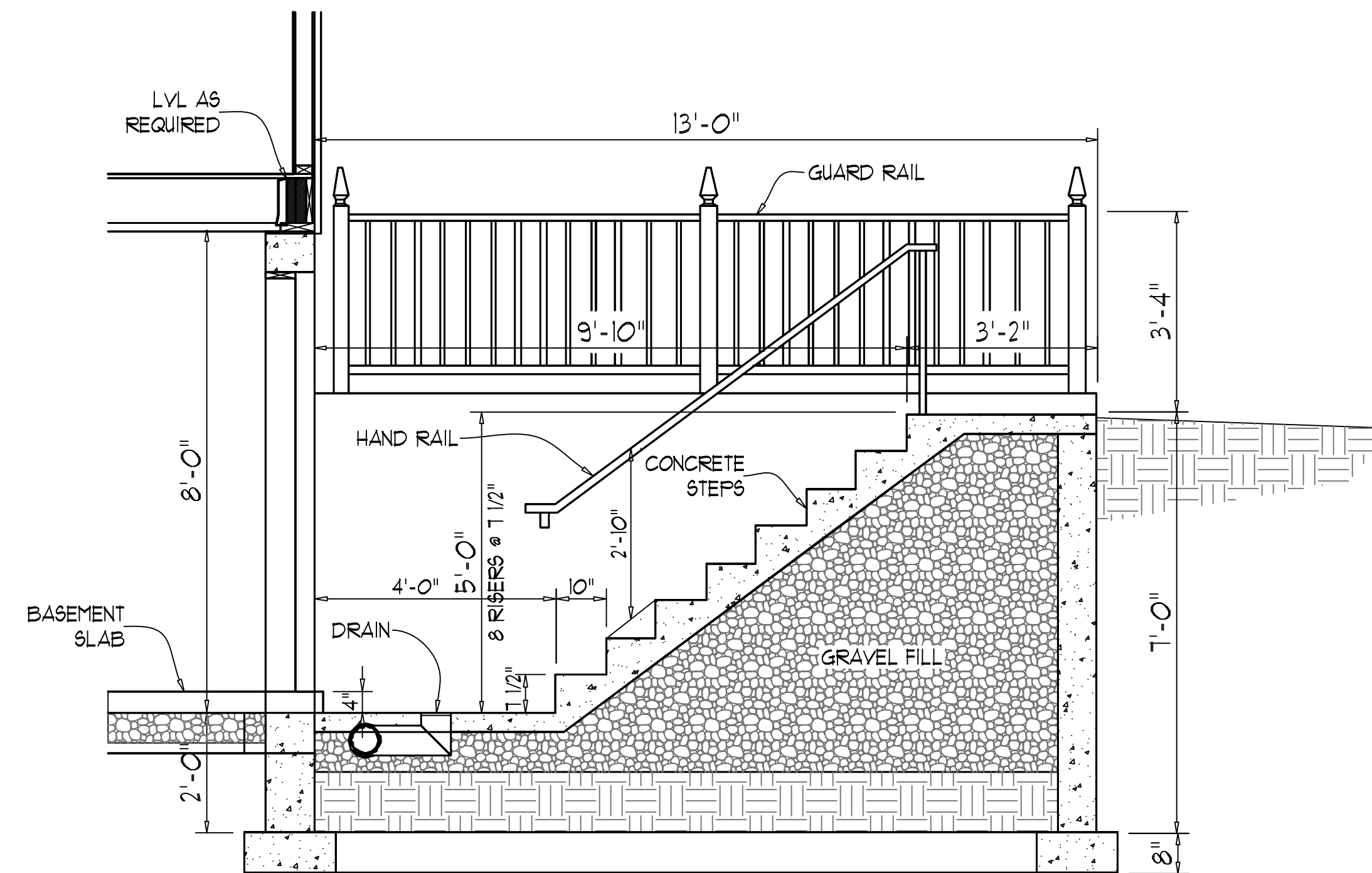
PLAN VIEW



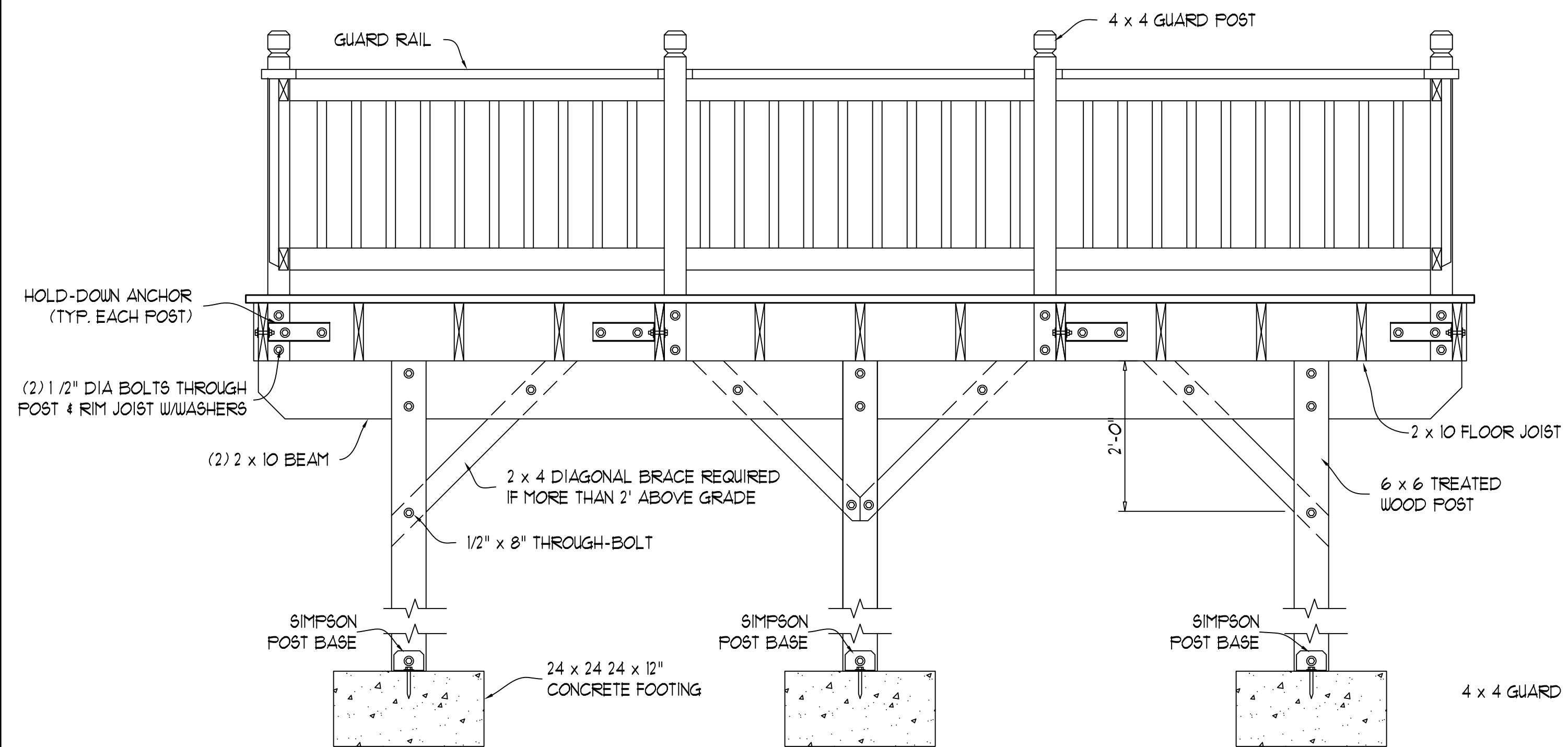
ISOMETRIC VIEW



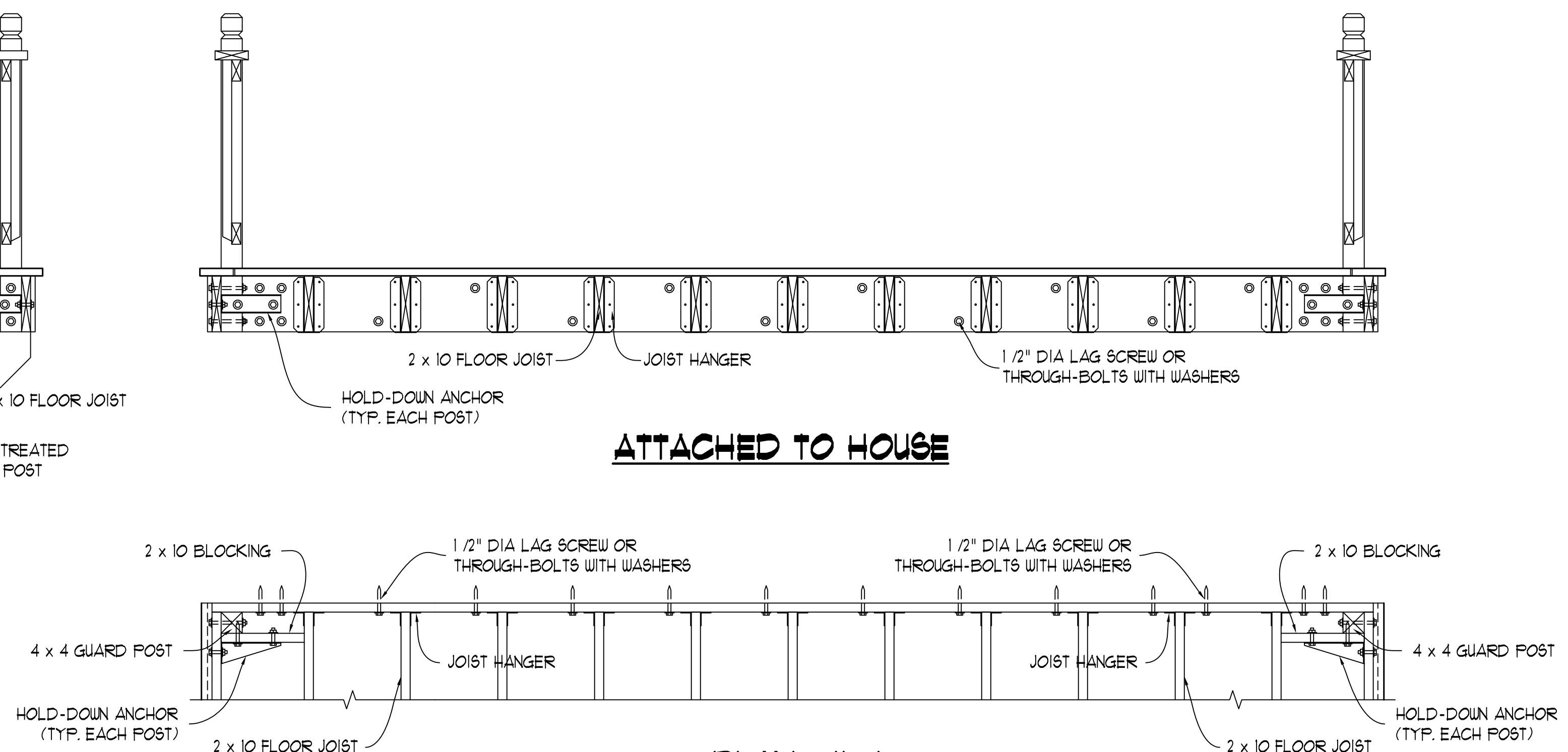
FRONT VIEW



CROSS SECTION

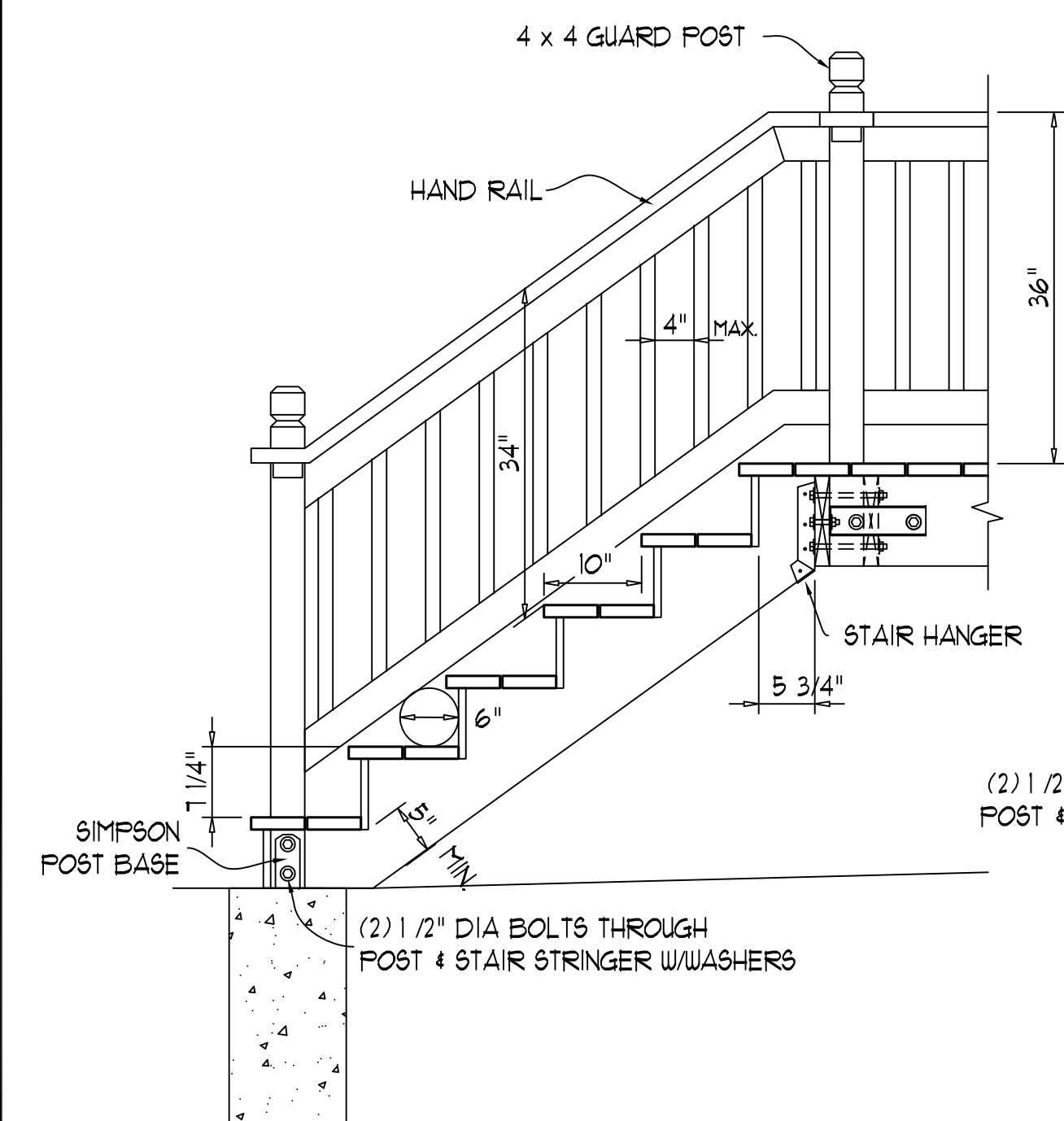


TYPICAL POST & BEAM SECTION

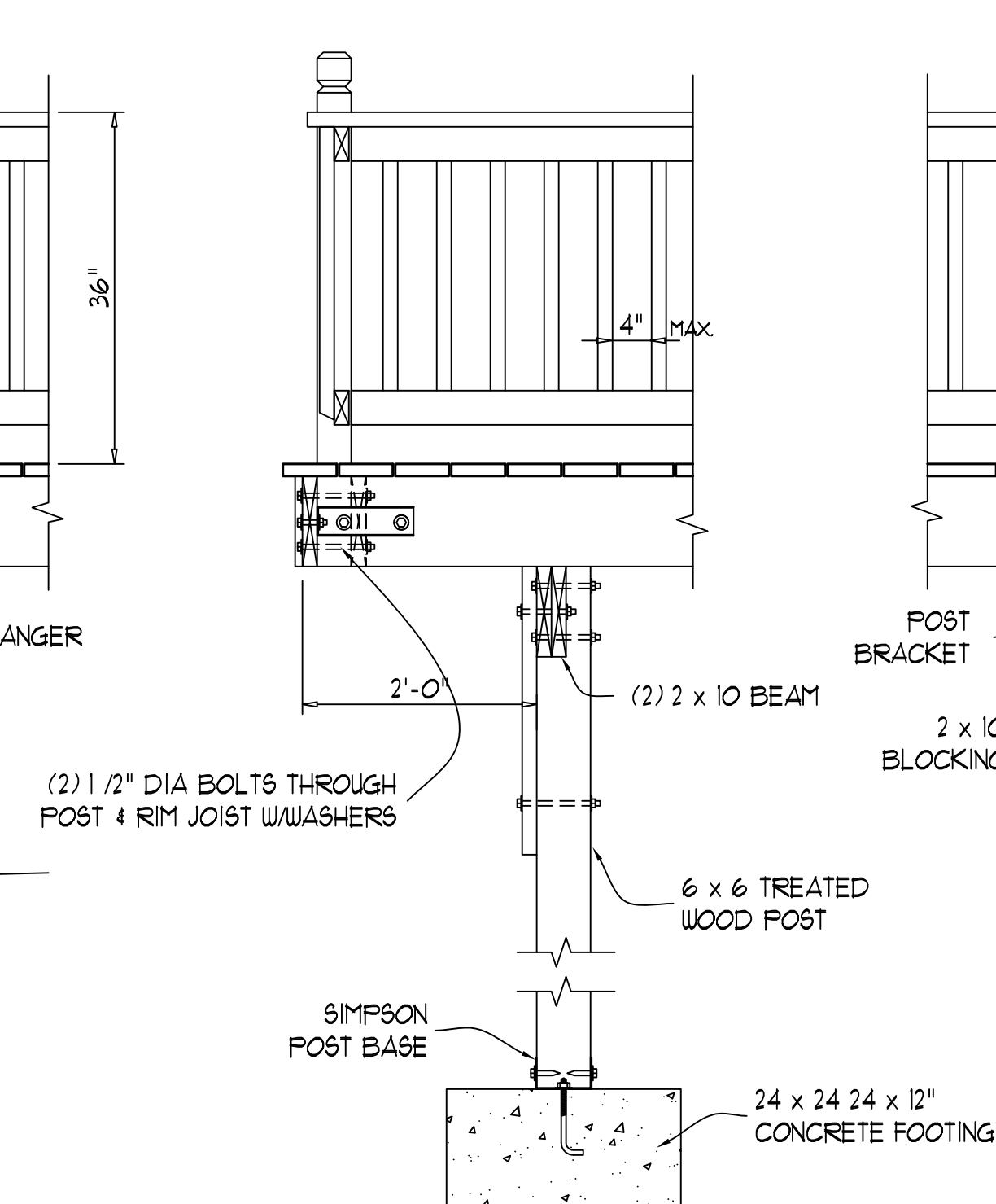


ATTACHED TO HOUSE

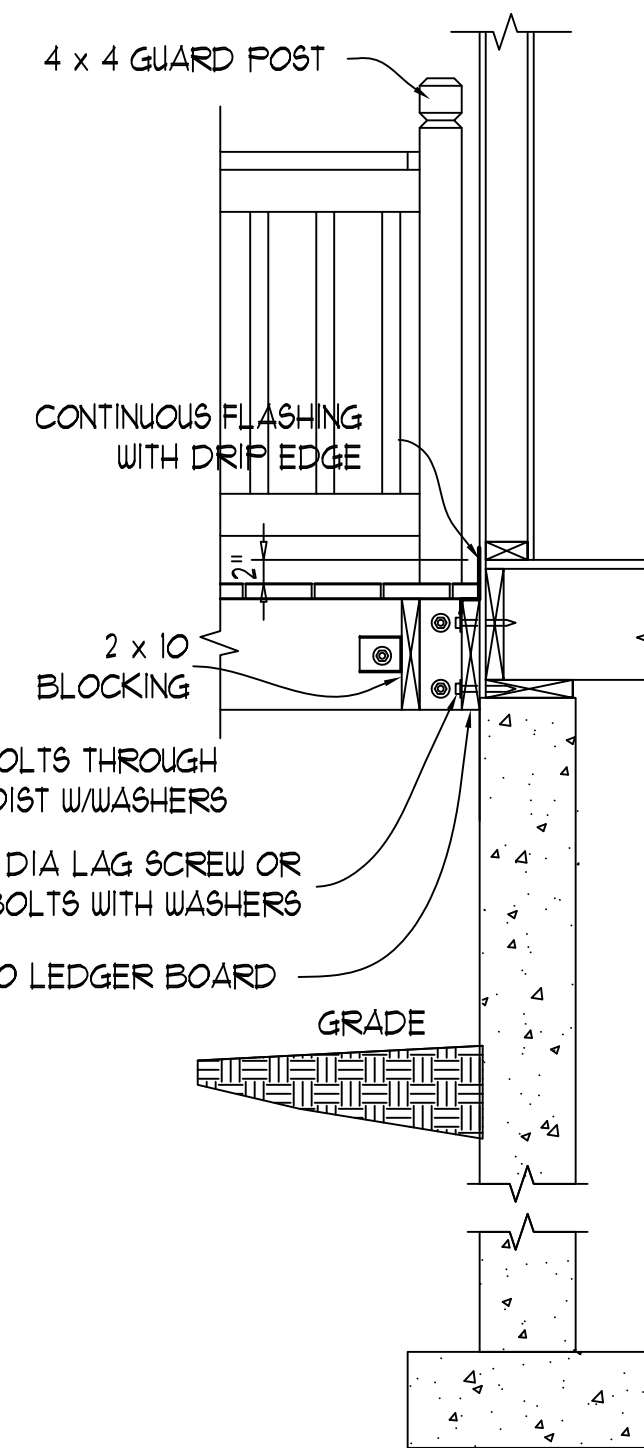
PLAN VIEW



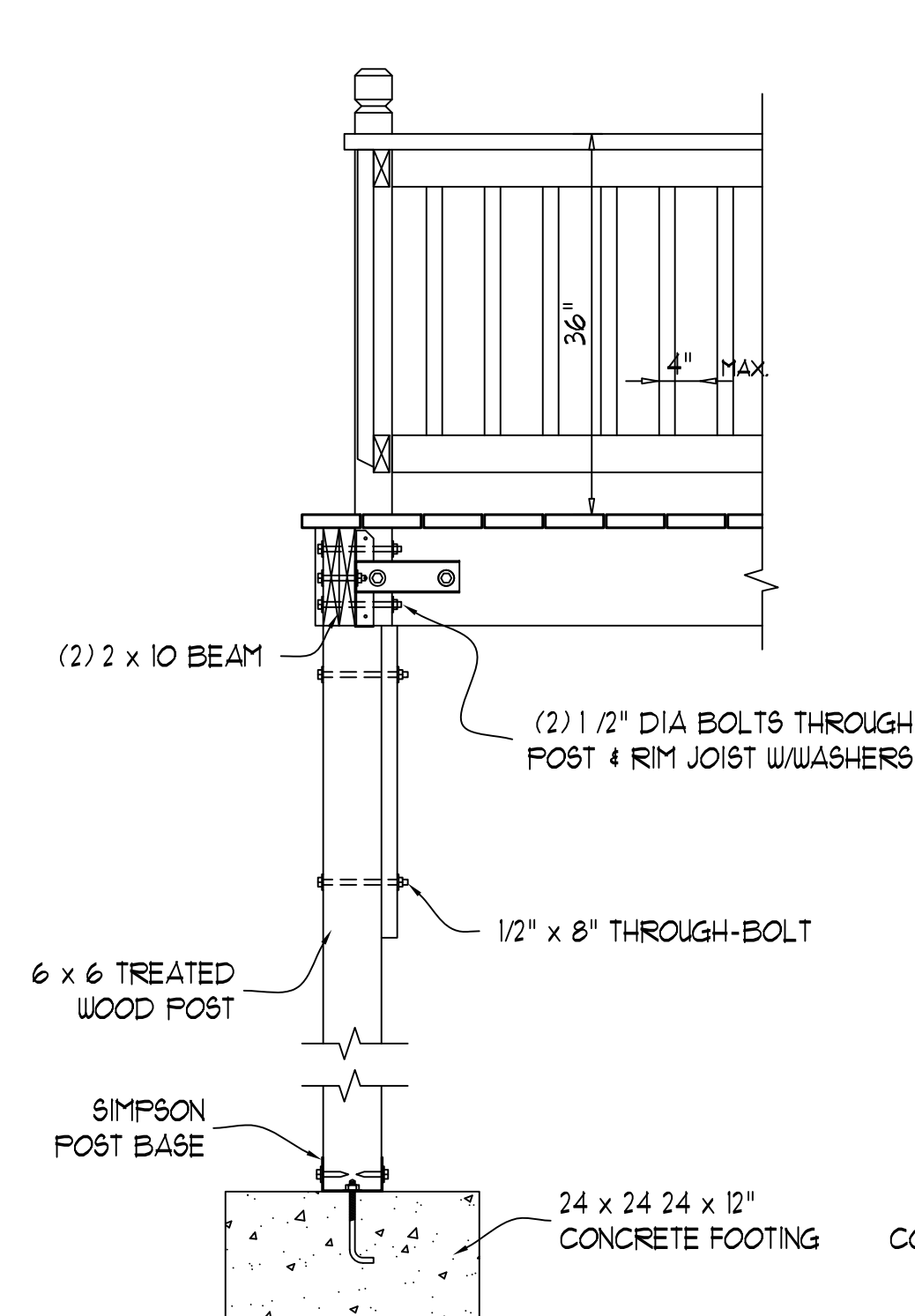
TYPICAL STAIR SECTION



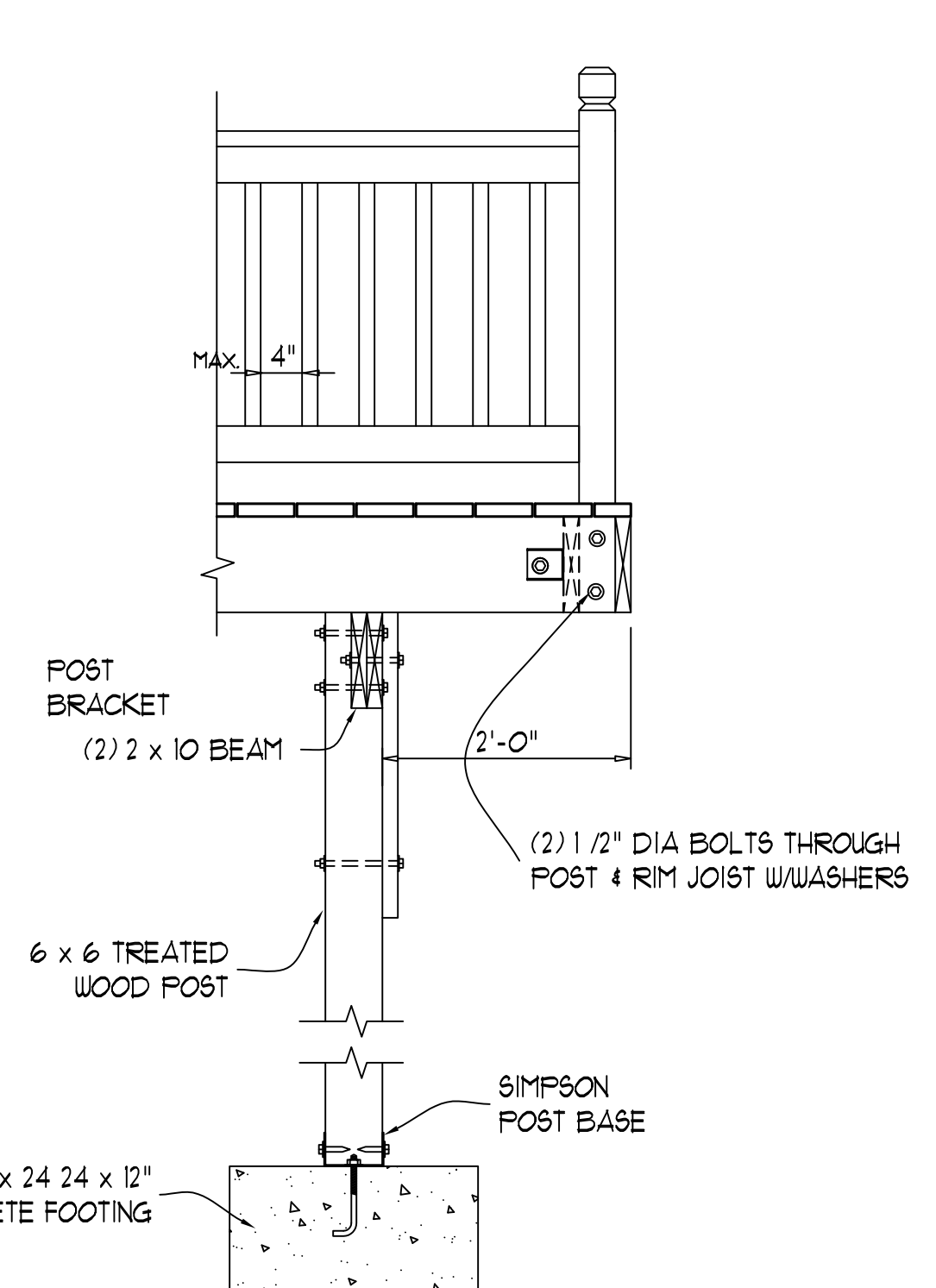
TYPICAL CANTIVER SECTION



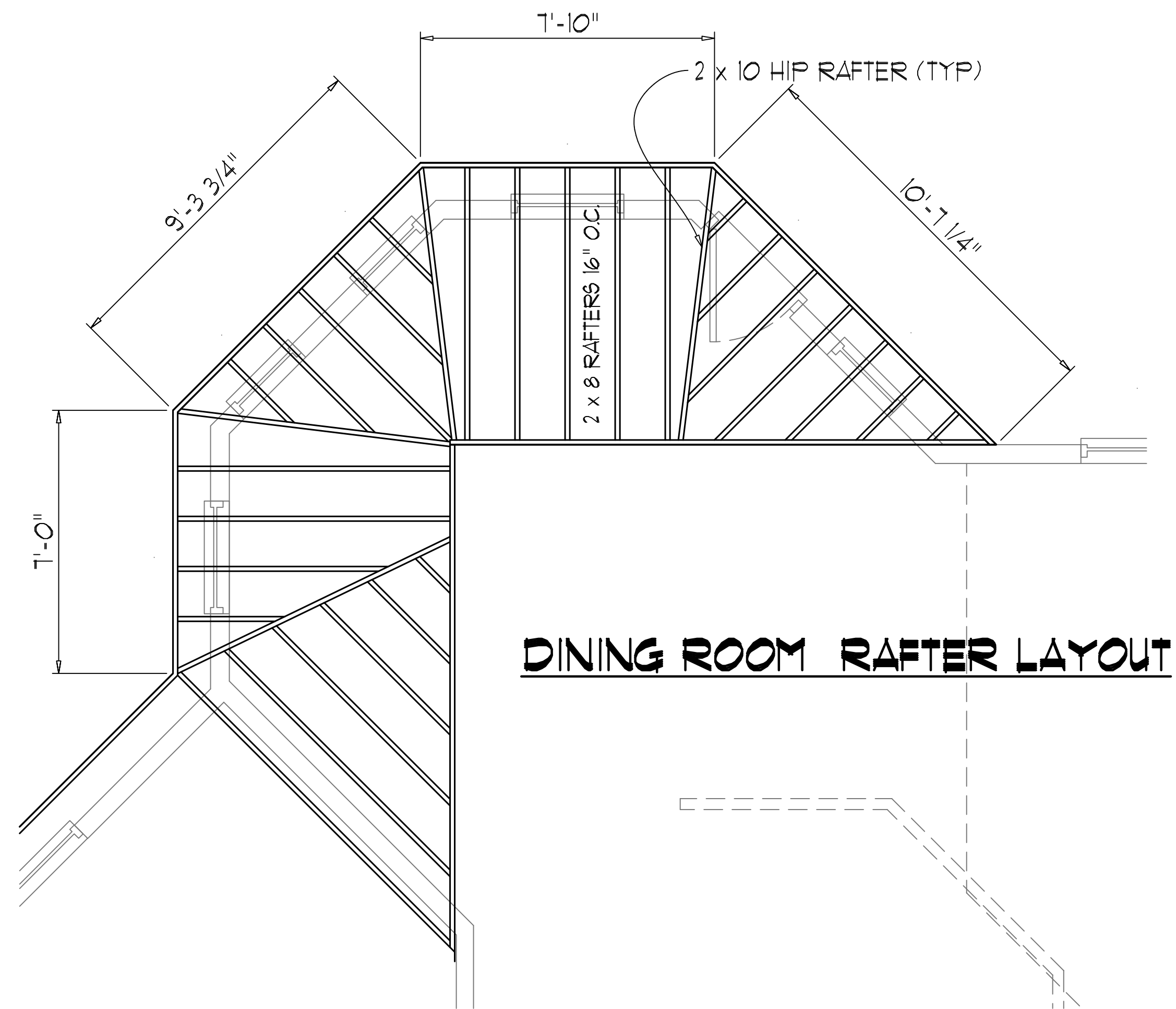
ATTACHED TO HOUSE



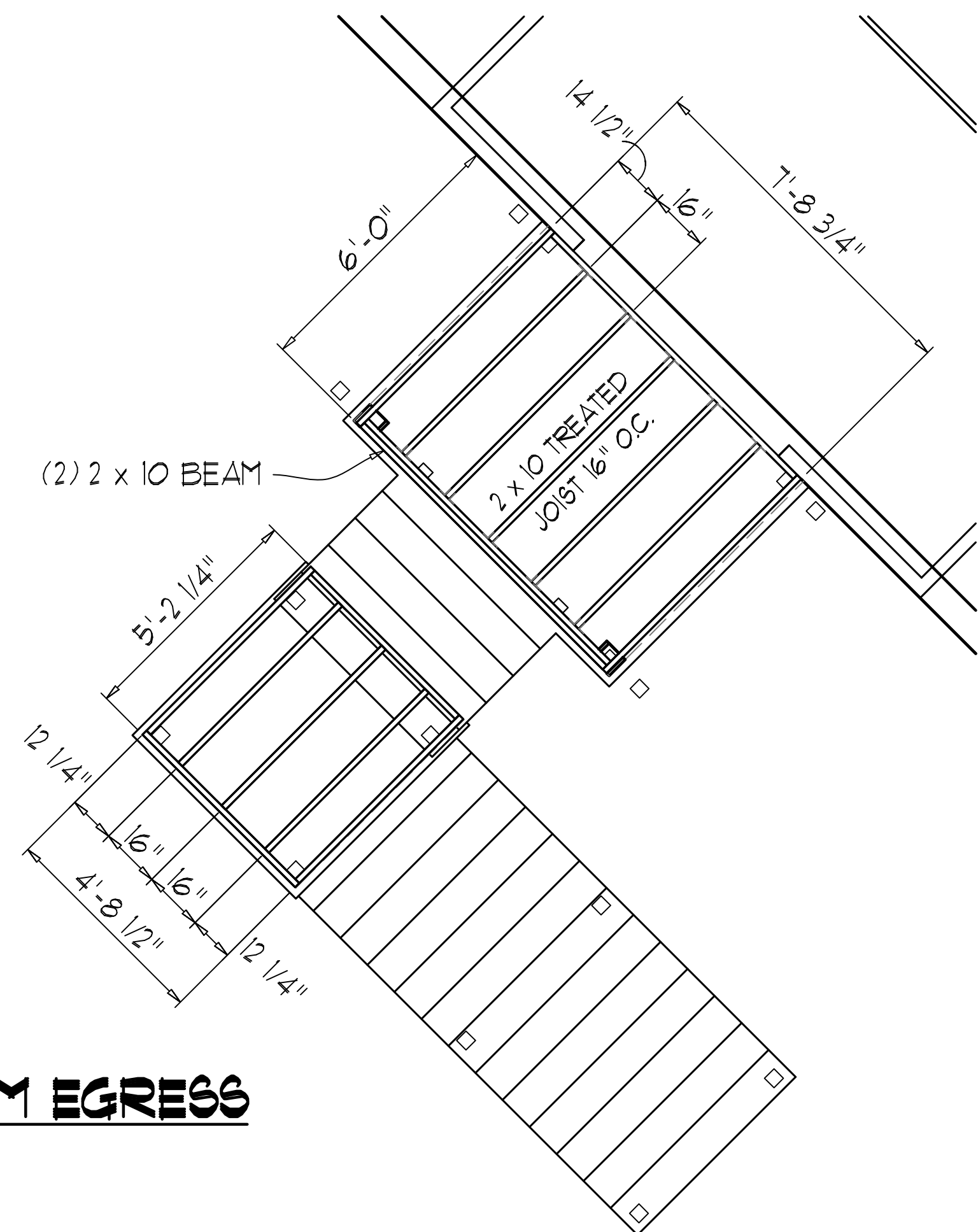
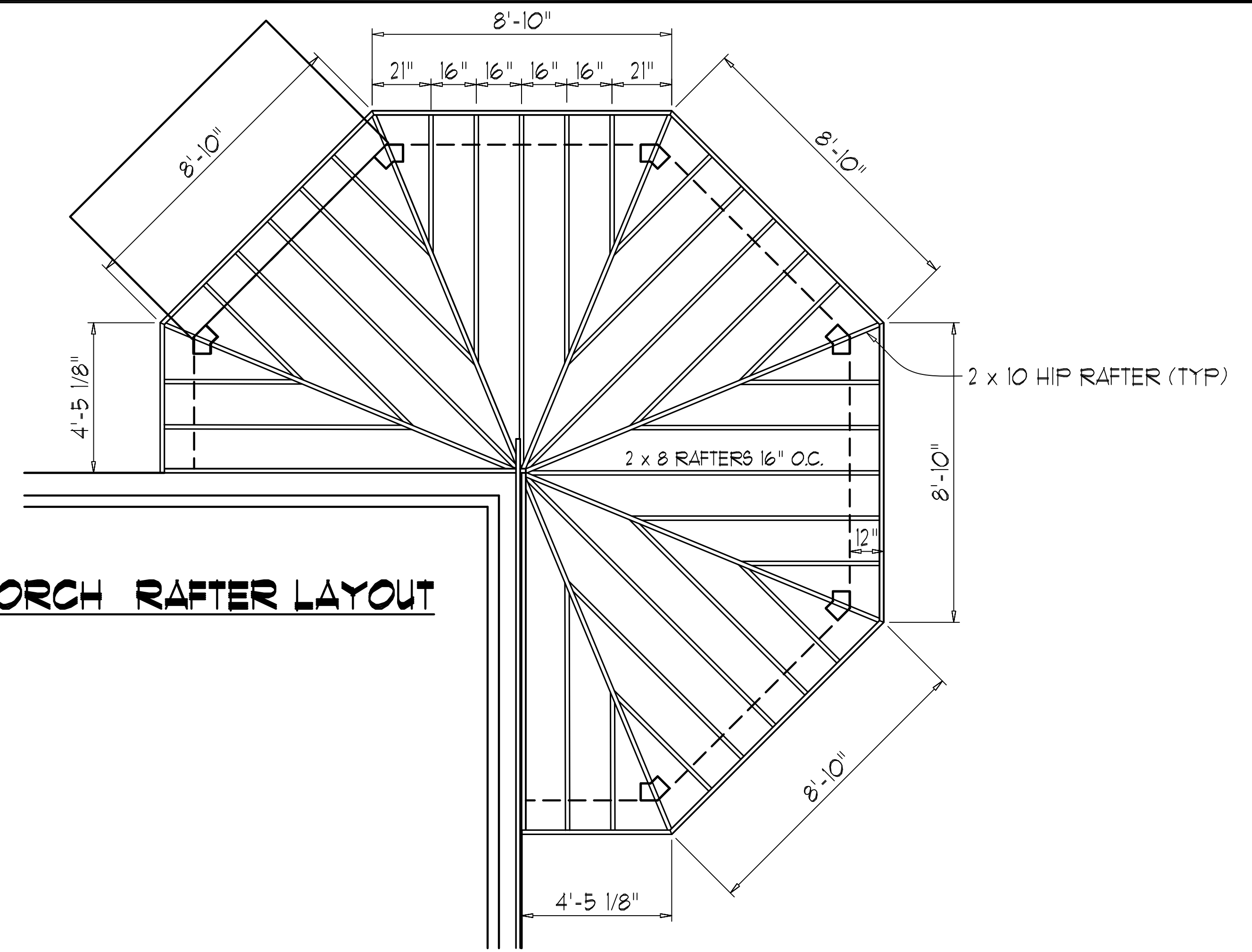
TYPICAL FLUSH BEAM



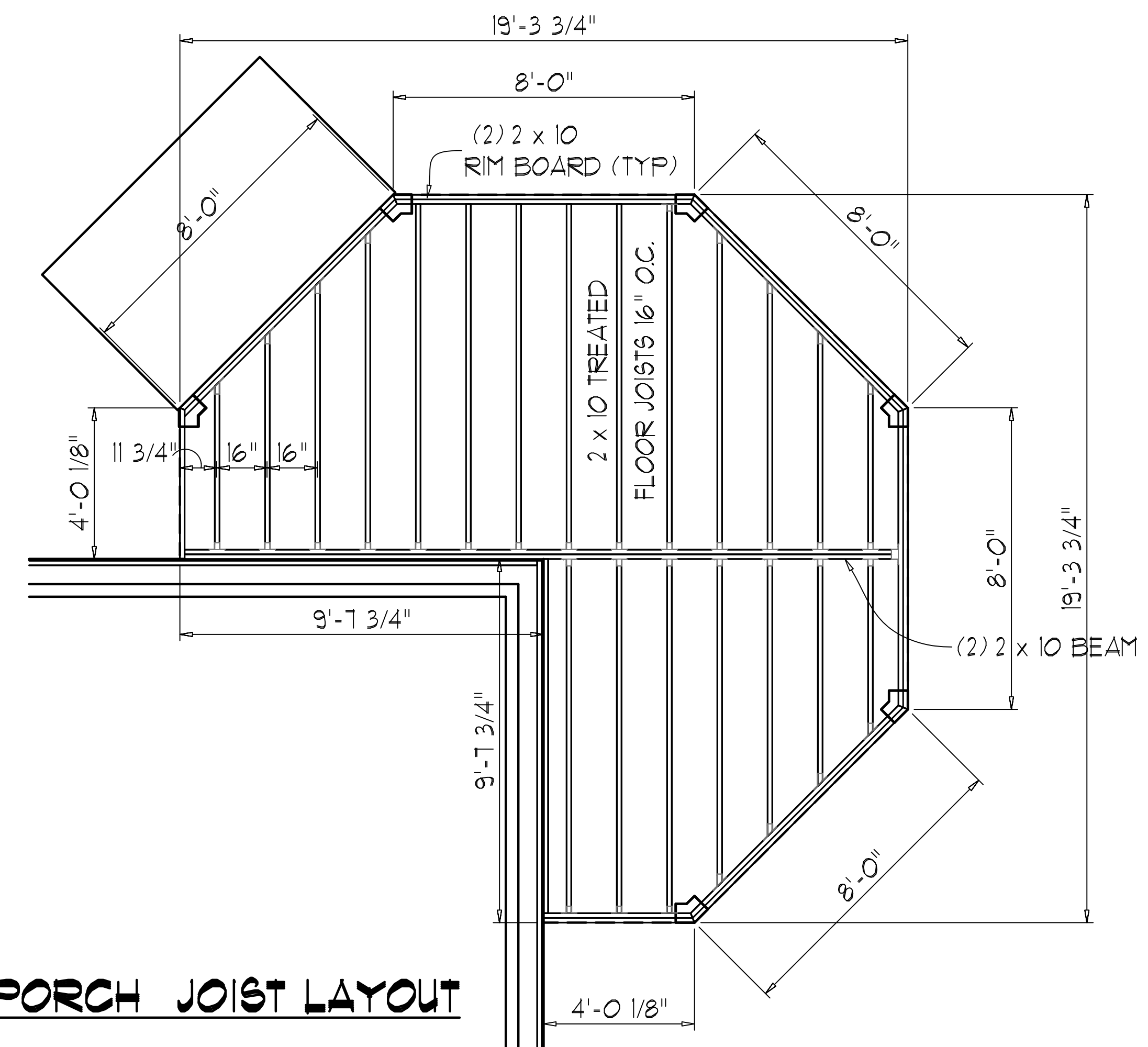
FREE STANDING DECK

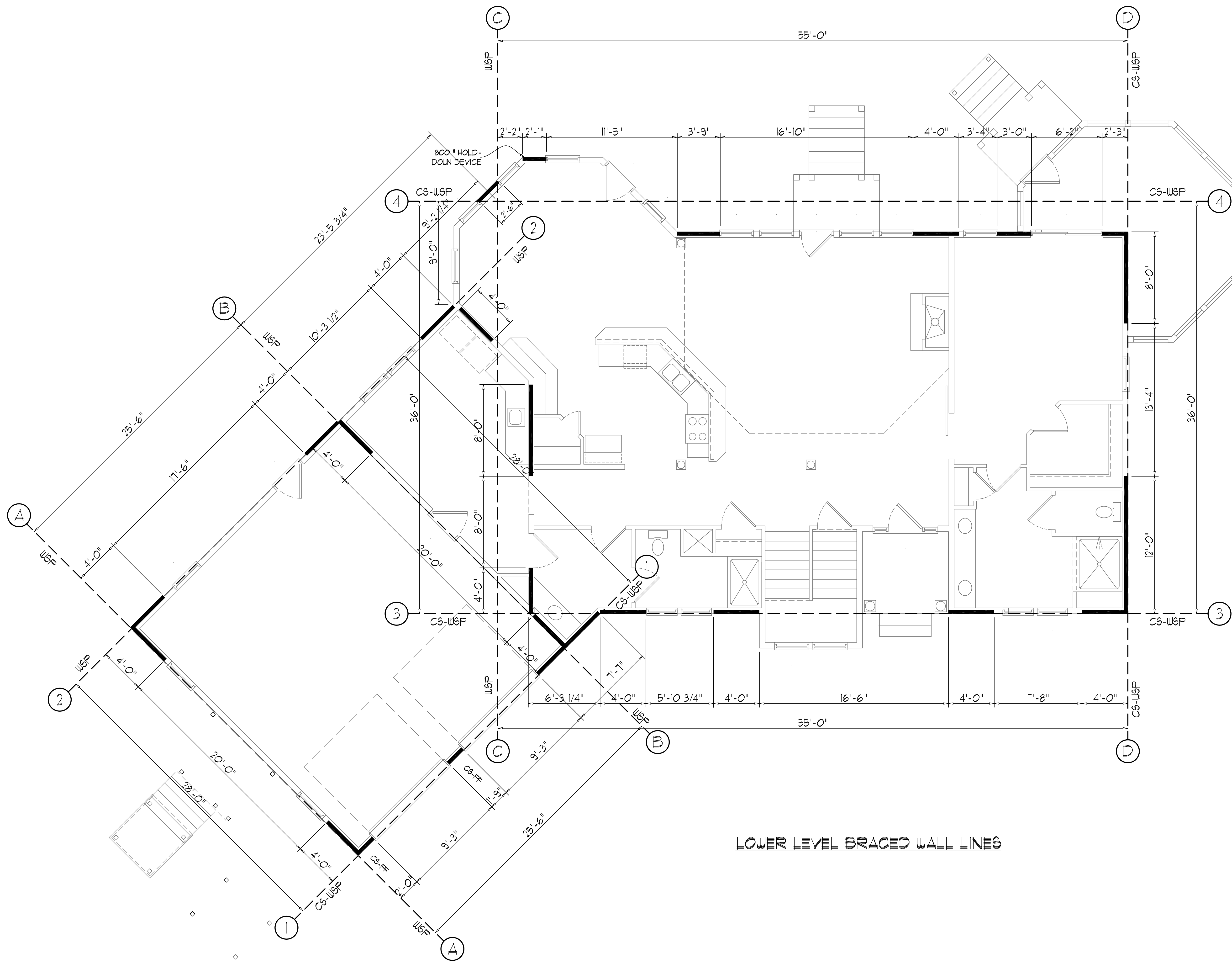


SCREENED PORCH RAFTER LAYOUT

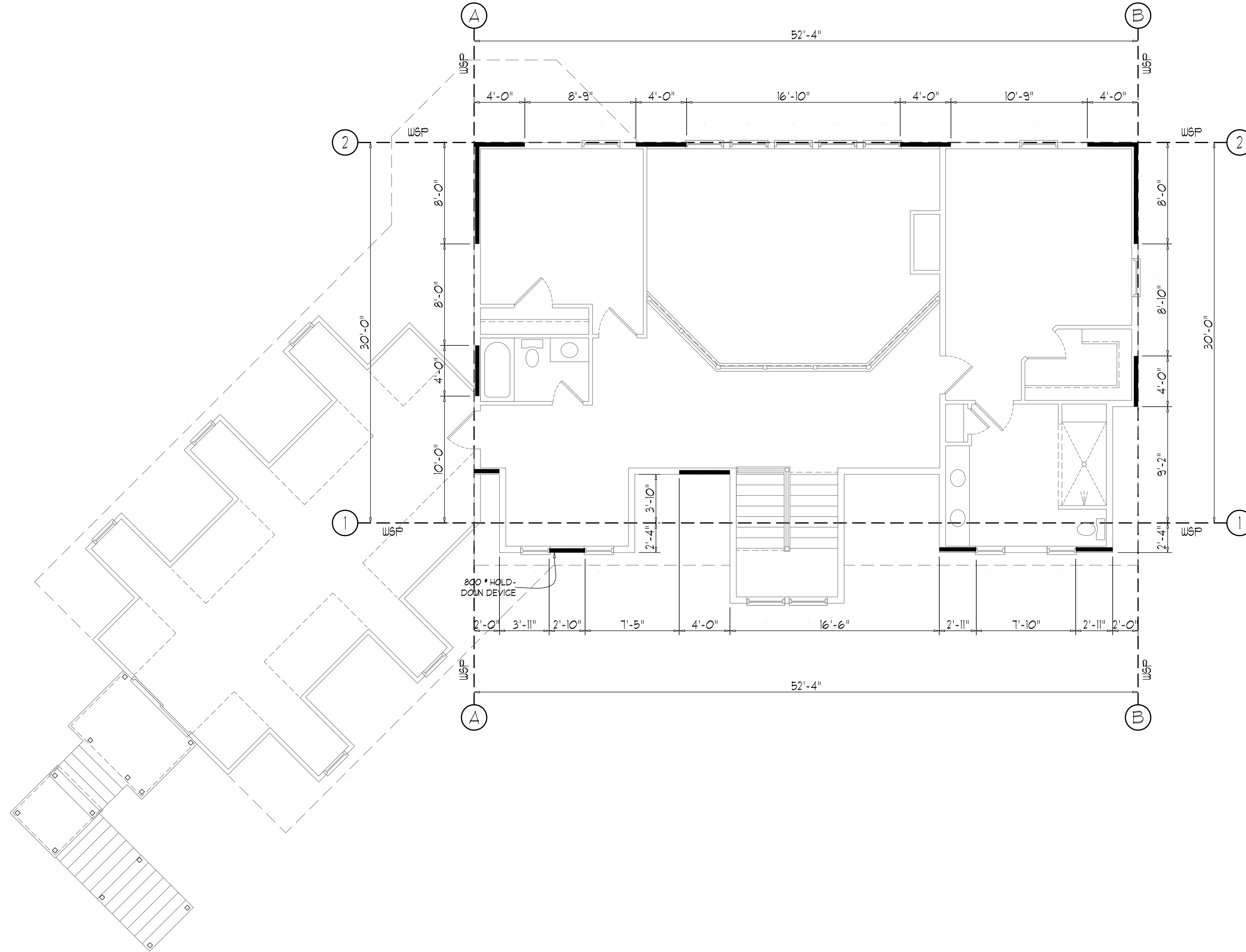


SCREENED PORCH JOIST LAYOUT

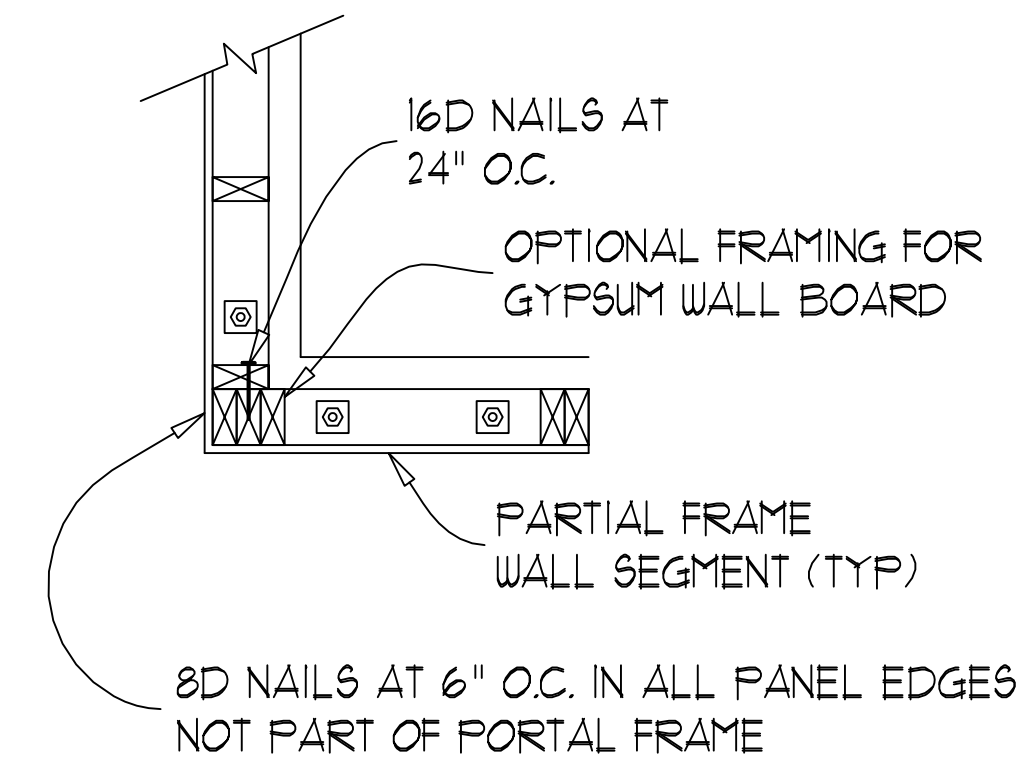




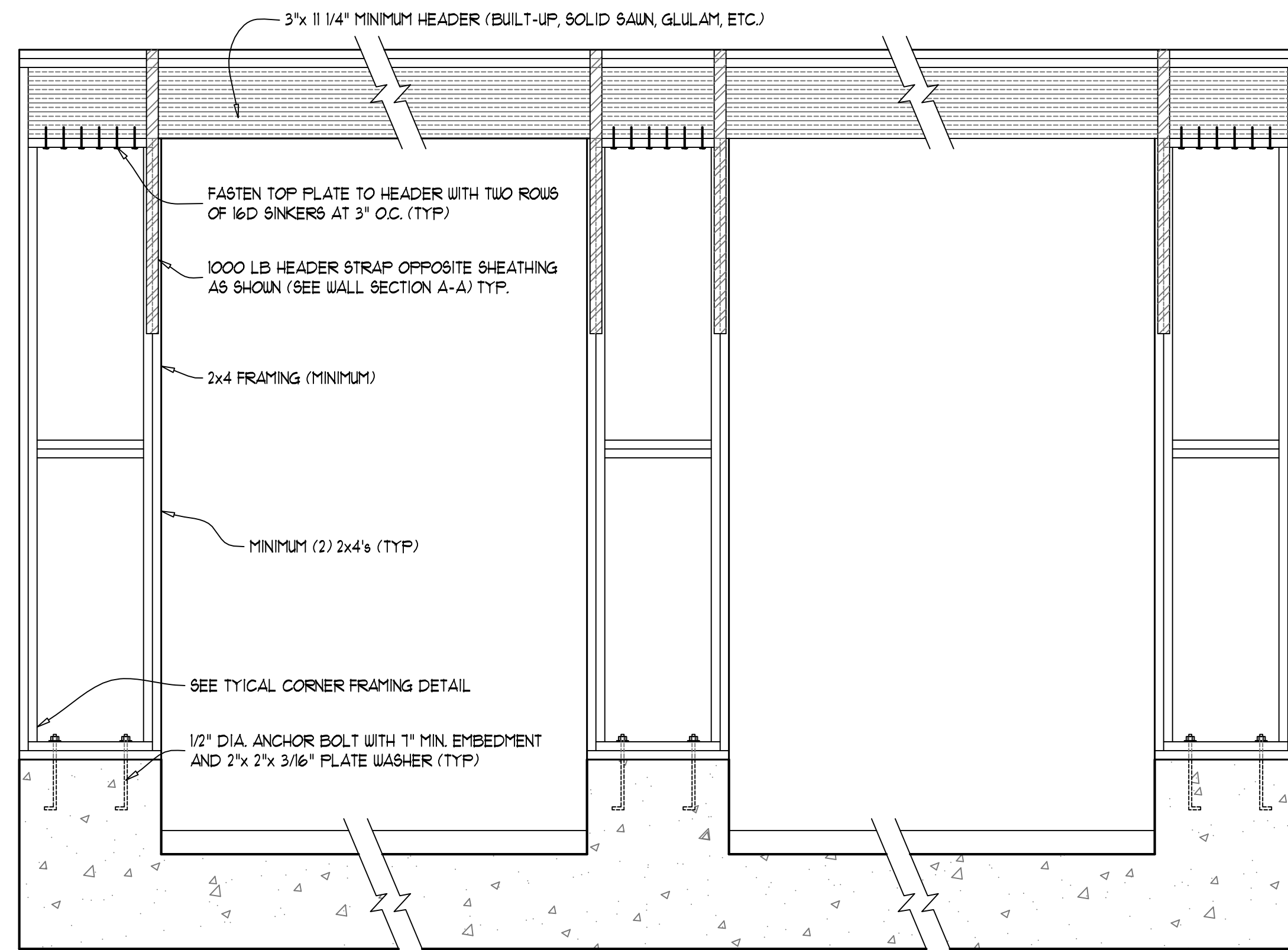
LOWER LEVEL BRACED WALL LINES



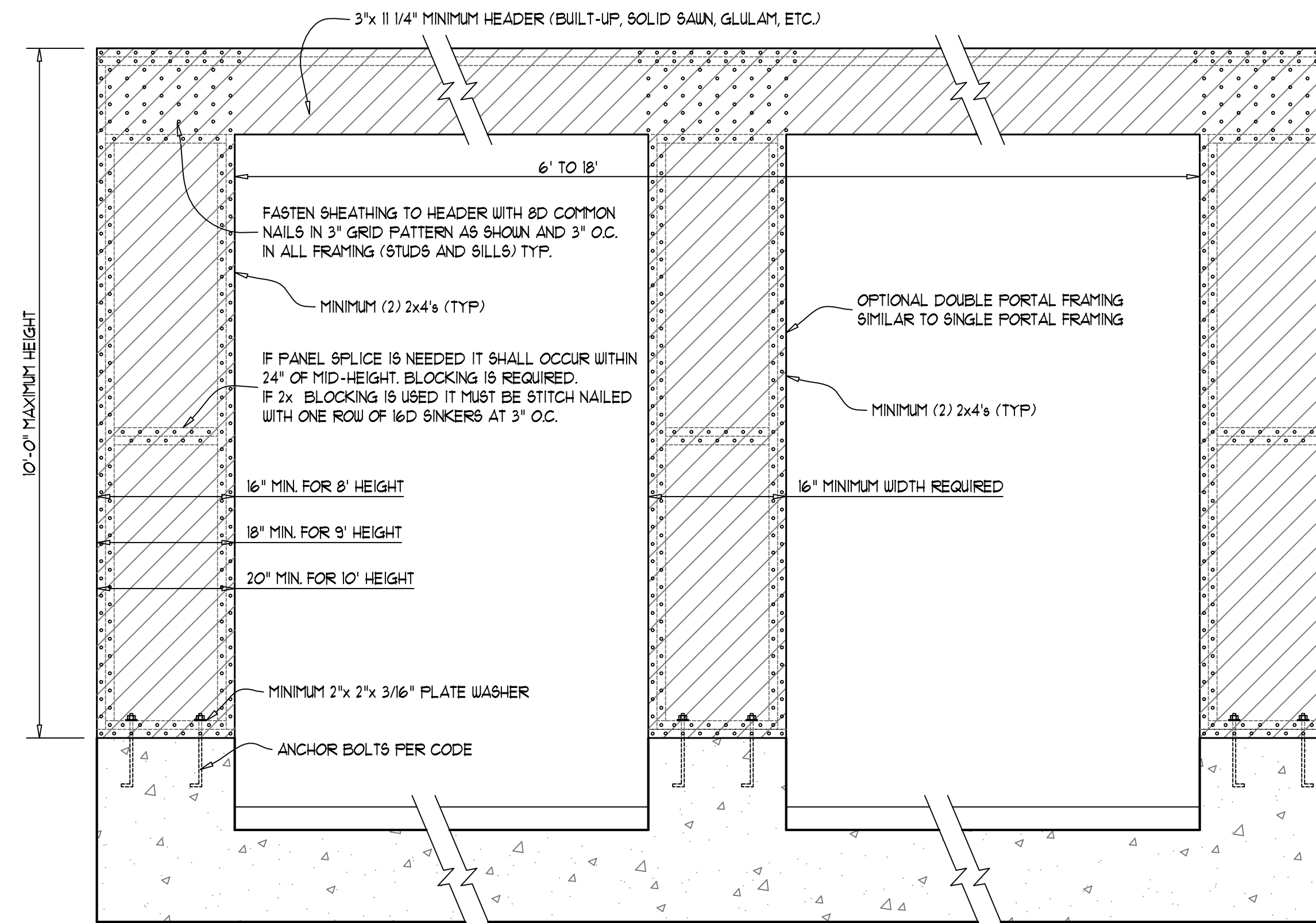
UPPER LEVEL BRACED WALL LINES



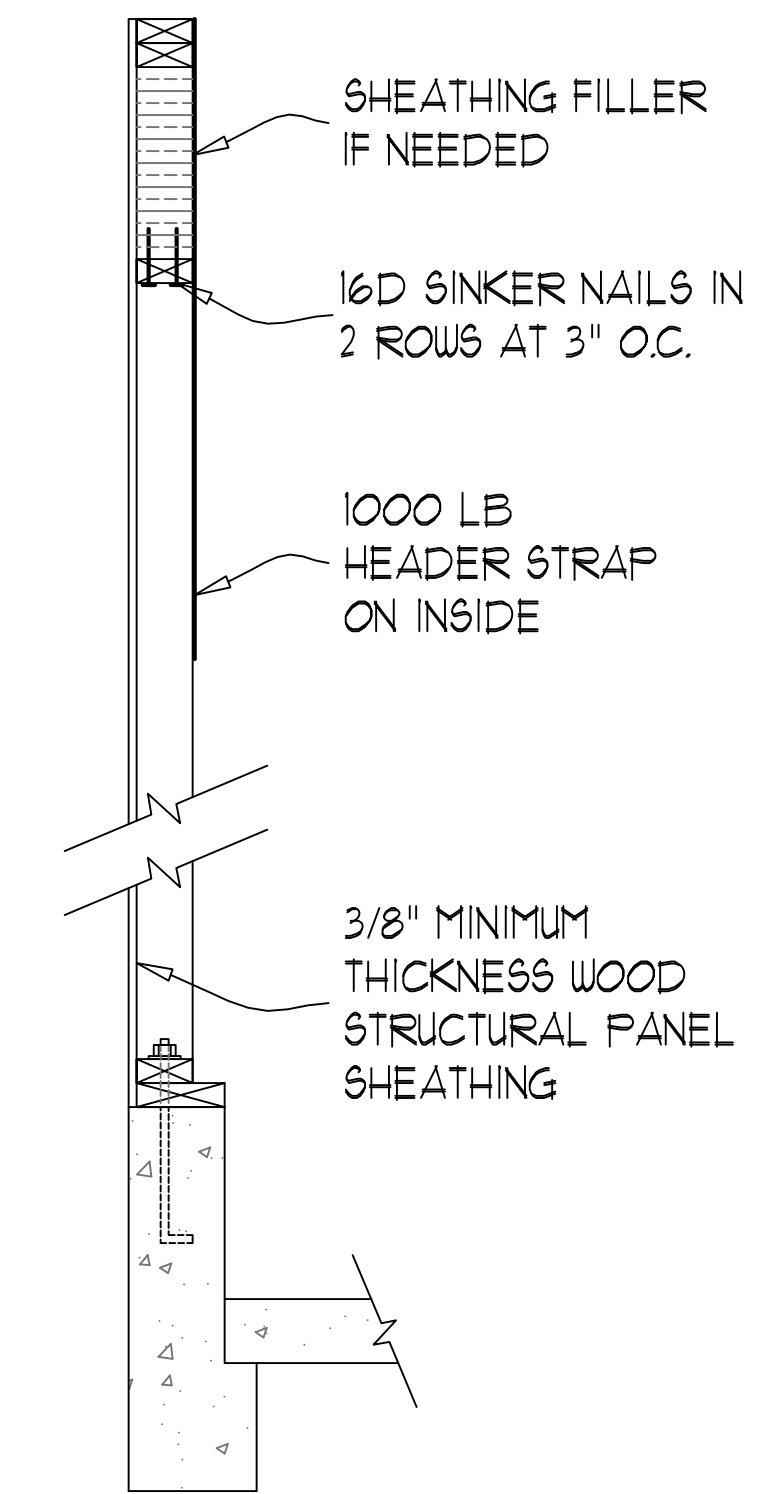
CORNER FRAMING DETAIL



INSIDE ELEVATION



OUTSIDE ELEVATION



WALL SECTION A-A

GARAGE PORTAL FRAMING WITHOUT HOLD-DOWNS

IRC CODE SECTION R602

