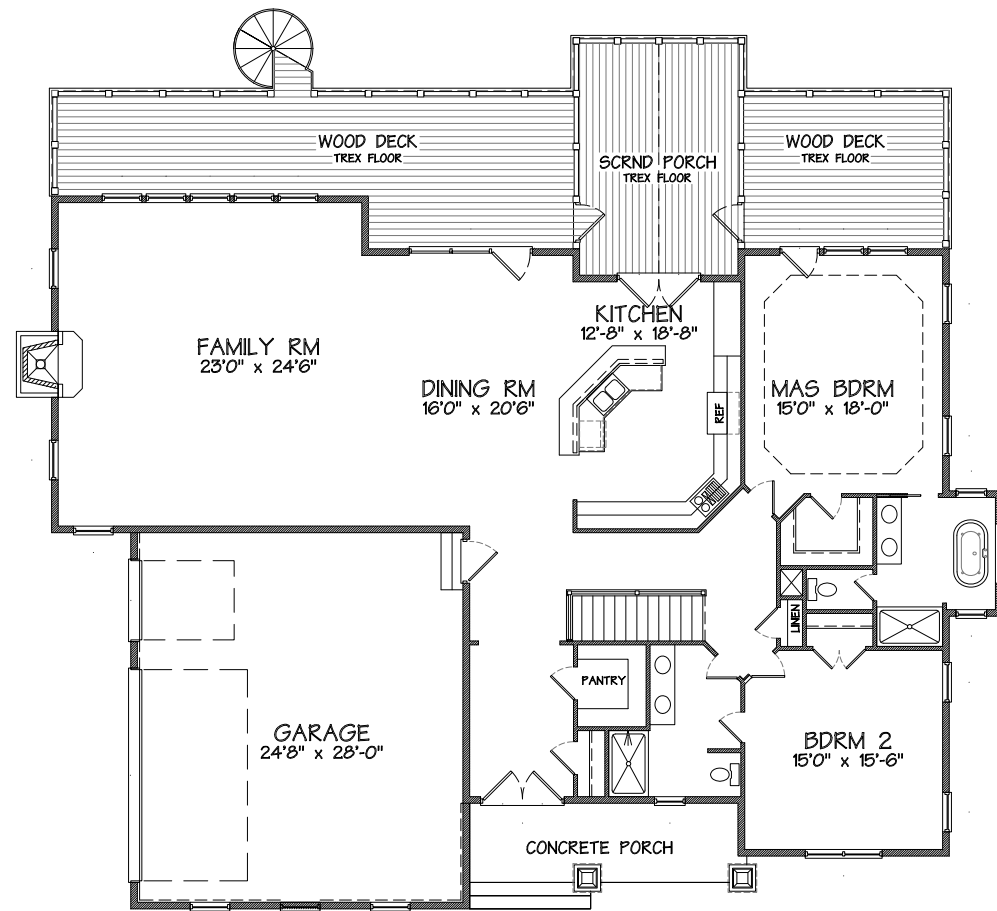


THE HERMAN	
STANDARD FEATURES	
TOTAL LIVING AREA	2404 SQ. FT.
GARAGE / STORAGE	121 SQ. FT.
SCREENED PORCH	232 SQ. FT.
COVERED PORCH	123 SQ. FT.
TOTAL UNDER ROOF	3480 SQ. FT.
OPTIONAL FEATURES	
FINISHED BASEMENT	2285 SQ. FT.
OPT BAY WINDOW	N/A
WOOD DECK	564 SQ. FT.
OUTSIDE DIMENSIONS	
OVERALL WIDTH	14'-4"
OVERALL DEPTH	66'-0"

TABLE OF CONTENTS	
PAGE NO.	TITLE
1	COVER PAGE
2	FLOOR PLAN
3	FOUNDATION PLAN
4	FRONT & RIGHT SIDE ELEVATIONS
5	REAR & LEFT SIDE ELEVATIONS
6	ROOF PLAN
7	CROSS SECTIONS
8	WALL SECTIONS
9	FOUNDATION WALL DETAILS
10	GENERAL NOTES
D-1	DECK DETAILS
S-1	LOWER LEVEL WALL BRACING
S-2	BASEMENT LEVEL WALL BRACING
S-3	PORTAL FRAMING DETAIL

CODE COMPLIANCE
INTERNATIONAL RESIDENTIAL CODE 2009
VIRGINIA USBC 2009 EDITION



FLOOR PLAN



REAR ELEVATION

SACRA CUSTOM HOMES

HERMAN RESIDENCE

MIKE CALVIN - PLANSHOP LLC
11505 ROSLYN ROAD
FREDERICKSBURG, VA 22401
PHONE: (540) 186-4221 FAX: (540) 185-1113

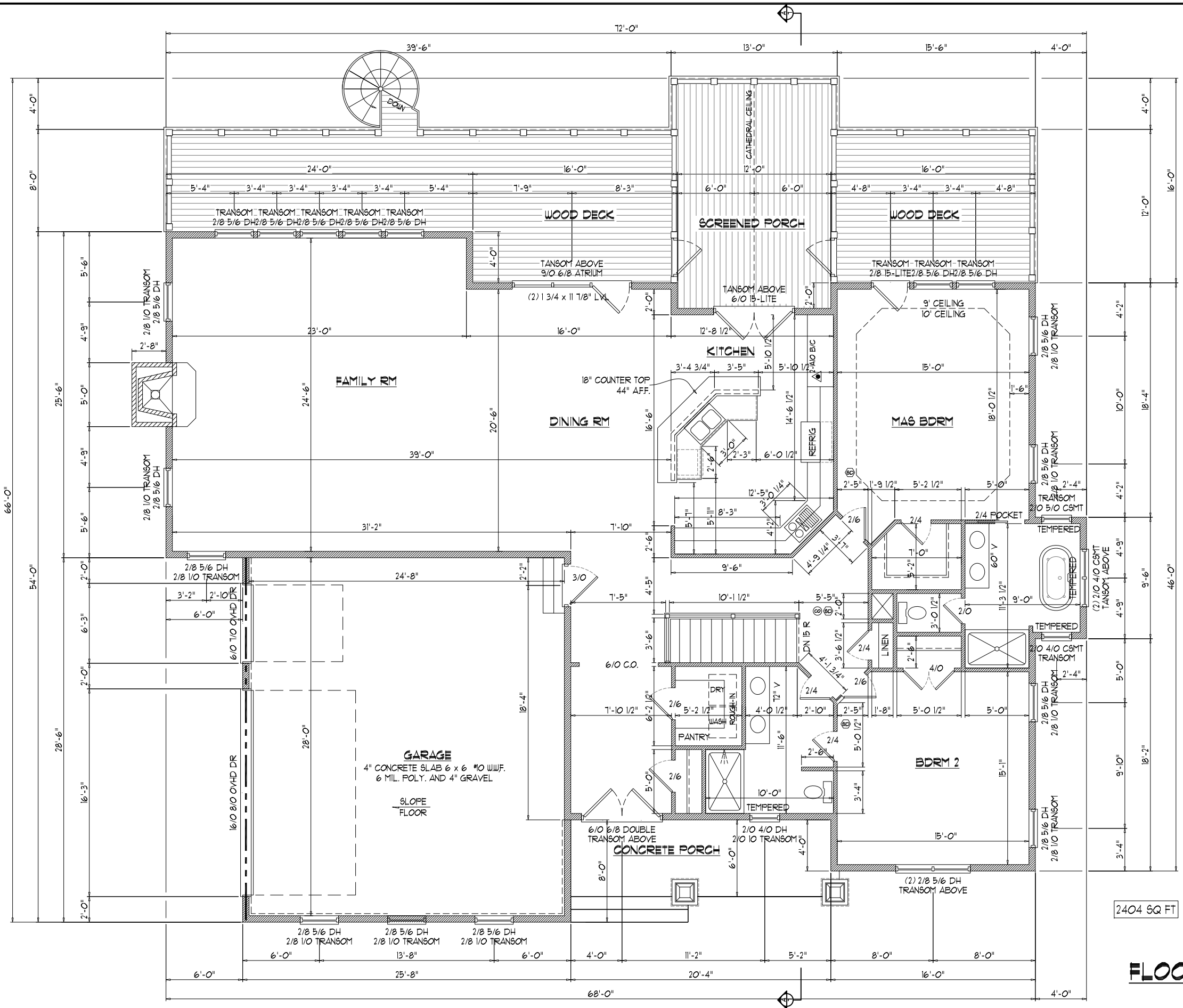
DATE 03/10/15
PAGE 1 OF 10

FILE HERMAN4.DWG
SCALE NONE

MODEL THE HERMAN RESIDENCE
TITLE COVER PAGE

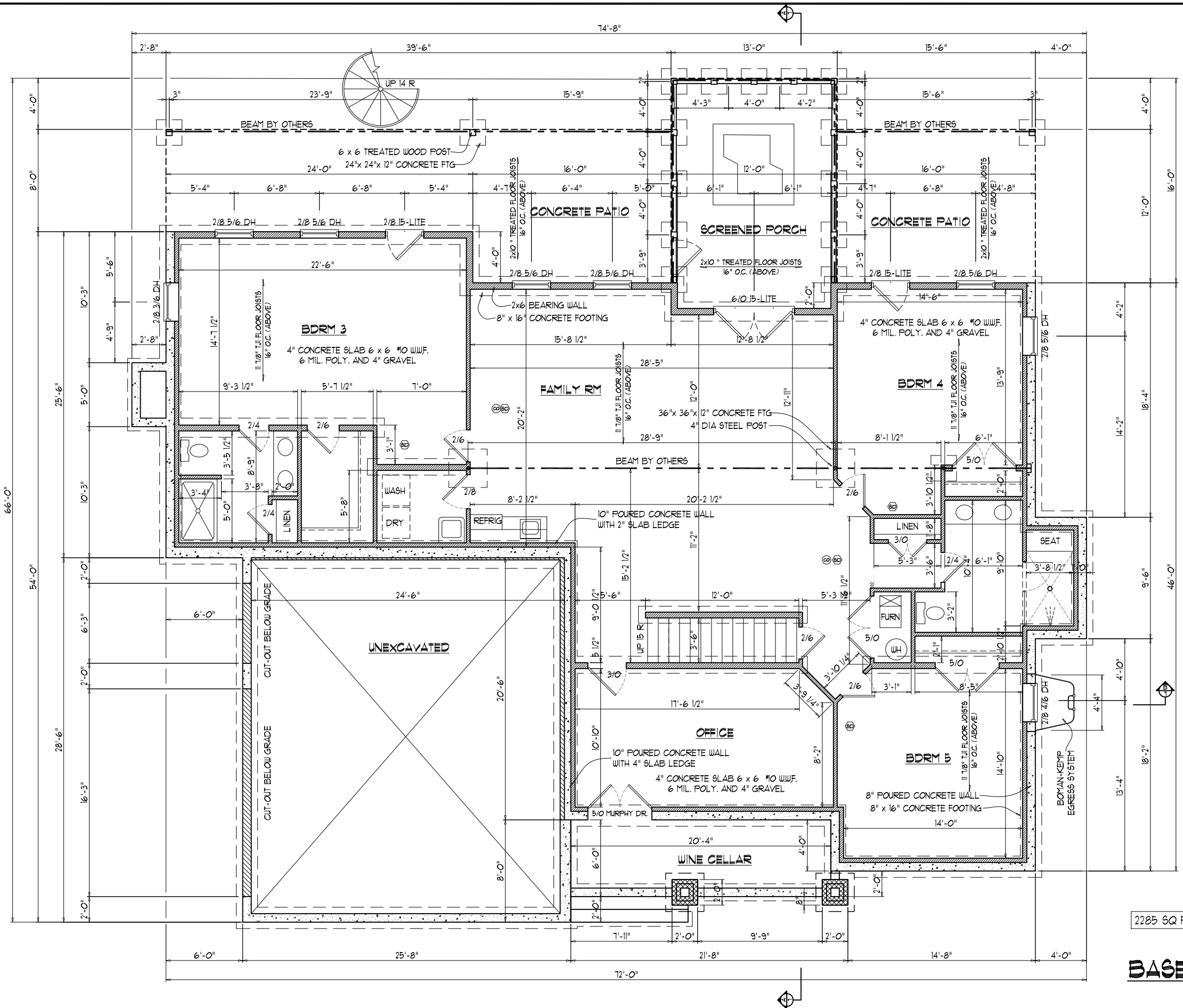
PLANSHOP.BIZ
HOMES DESIGNED FOR OPTIMUM VALUE

NOTE:
 ALL HEADERS ARE (2) 2x10s
 WITH (1) JACK STUD EACH SIDE
 UNLESS NOTED OTHERWISE.
 ALL EXTERIOR WALLS ARE 2x6
 WITH SINGLE BOTTOM PLATE &
 DOUBLE TOP PLATE WITH
 STUDS 16" O.C.



2404 SQ FT

FLOOR PLAN



2285 SQ FT

BASEMENT PLAN



MIKE GALVIN - PLANSHOP LLC
11505 ROSELYN ROAD
FREDERICKSBURG, VA 22401
PHONE: (540) 186-4221 FAX: (540) 185-1113

FILE HERMAN4.DWG DATE 03/10/15
SCALE 1/8 INCH = 12 INCH PAGE 4 OF 10

MODEL THE HERMAN RESIDENCE
TITLE FRONT & RIGHT SIDE ELEV

PLANSHOP.BIZ
HOMES DESIGNED FOR OPTIMUM VALUE



LEFT SIDE ELEVATION



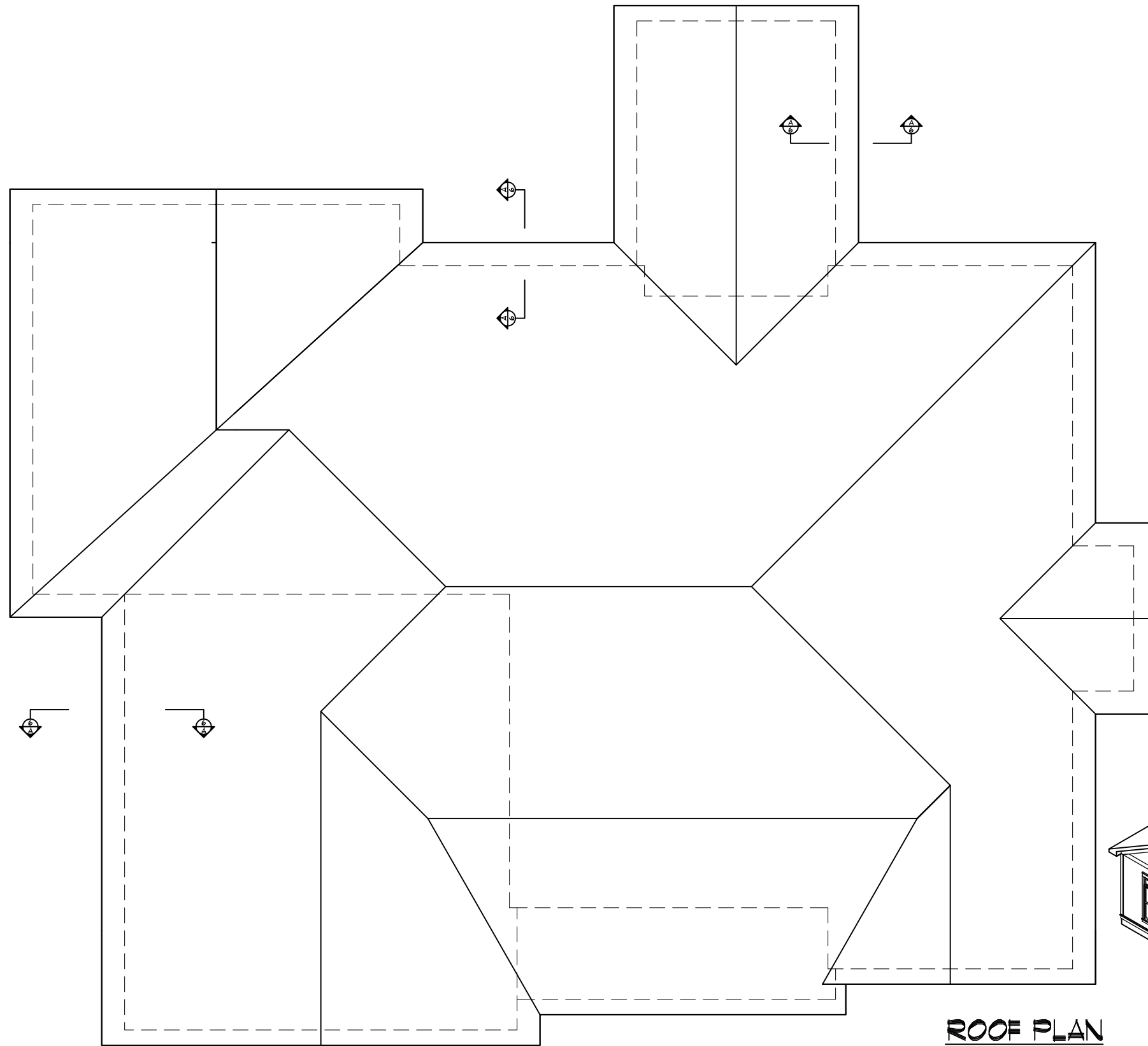
REAR ELEVATION

MIKE GALVIN - PLANSHOP LLC
 11505 ROSLYN ROAD
 FREDERICKSBURG, VA 22401
 PHONE: (540) 186-4221 FAX: (540) 185-1113

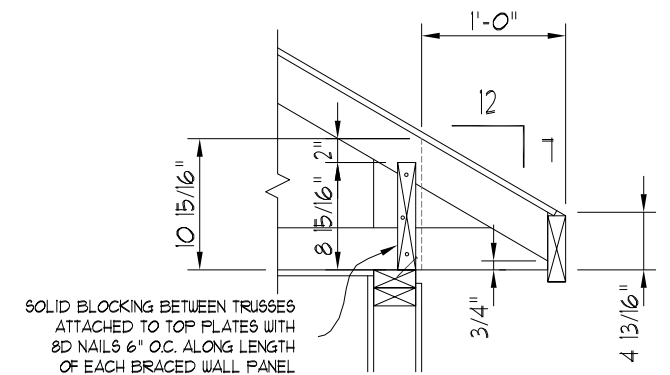
FILE HERMAN4.DWG DATE 03/10/15
 SCALE 1/8 INCH = 12 INCH PAGE 5 OF 10

MODEL THE HERMAN RESIDENCE
 TITLE REAR & LEFT SIDE ELEV

PLANSHOP.BIZ
 HOMES DESIGNED FOR OPTIMUM VALUE

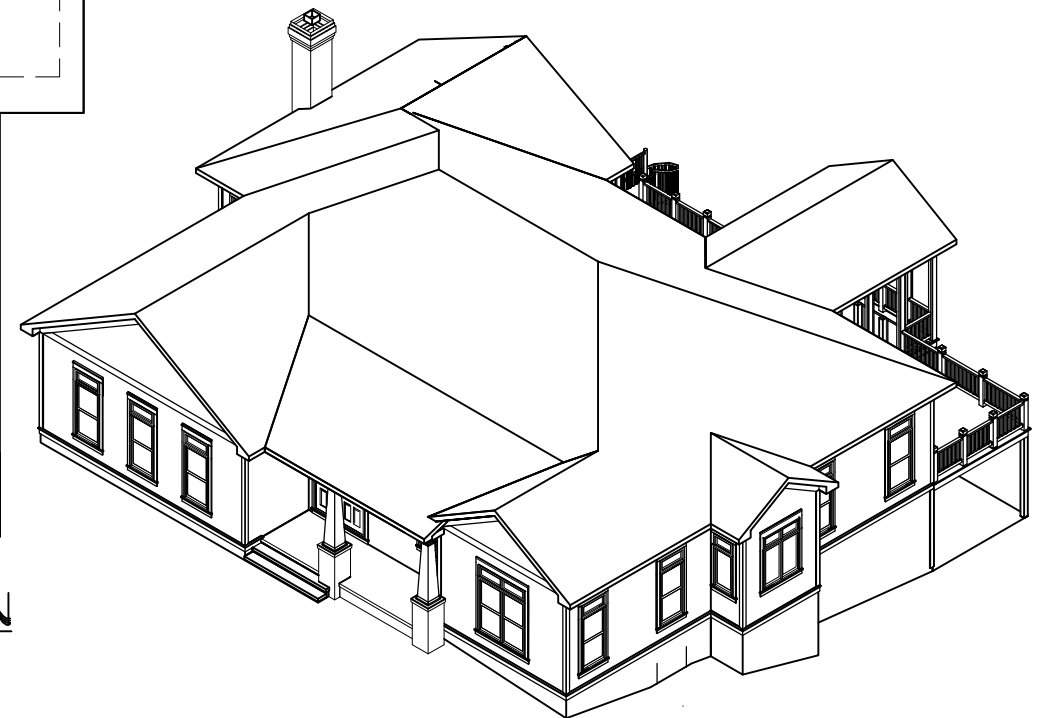


ROOF PLAN



SOLID BLOCKING BETWEEN TRUSSES ATTACHED TO TOP PLATES WITH 8D NAILS 6" O.C. ALONG LENGTH OF EACH BRACED WALL PANEL

SECTION "A-6"
SCALE - 3/4" = 12"



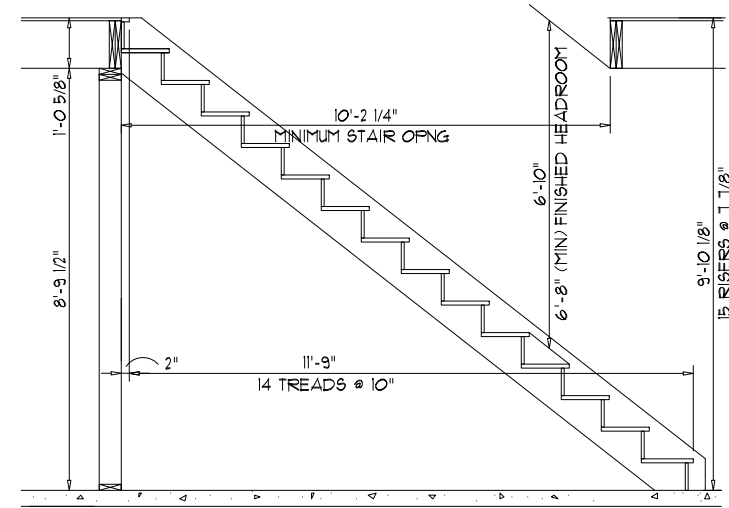
MIKE GALVIN - PLANSHOP LLC
11505 ROSLYN ROAD
FREDERICKSBURG, VA 22401
PHONE: (540) 186-4221 FAX: (540) 185-1113

MODEL THE HERMAN RESIDENCE
FILE HERMAN4.DWG
SCALE 1/8" INCH = 12" INCH
DATE 03/06/15
PAGE 6 OF 10
TITLE ROOF PLAN

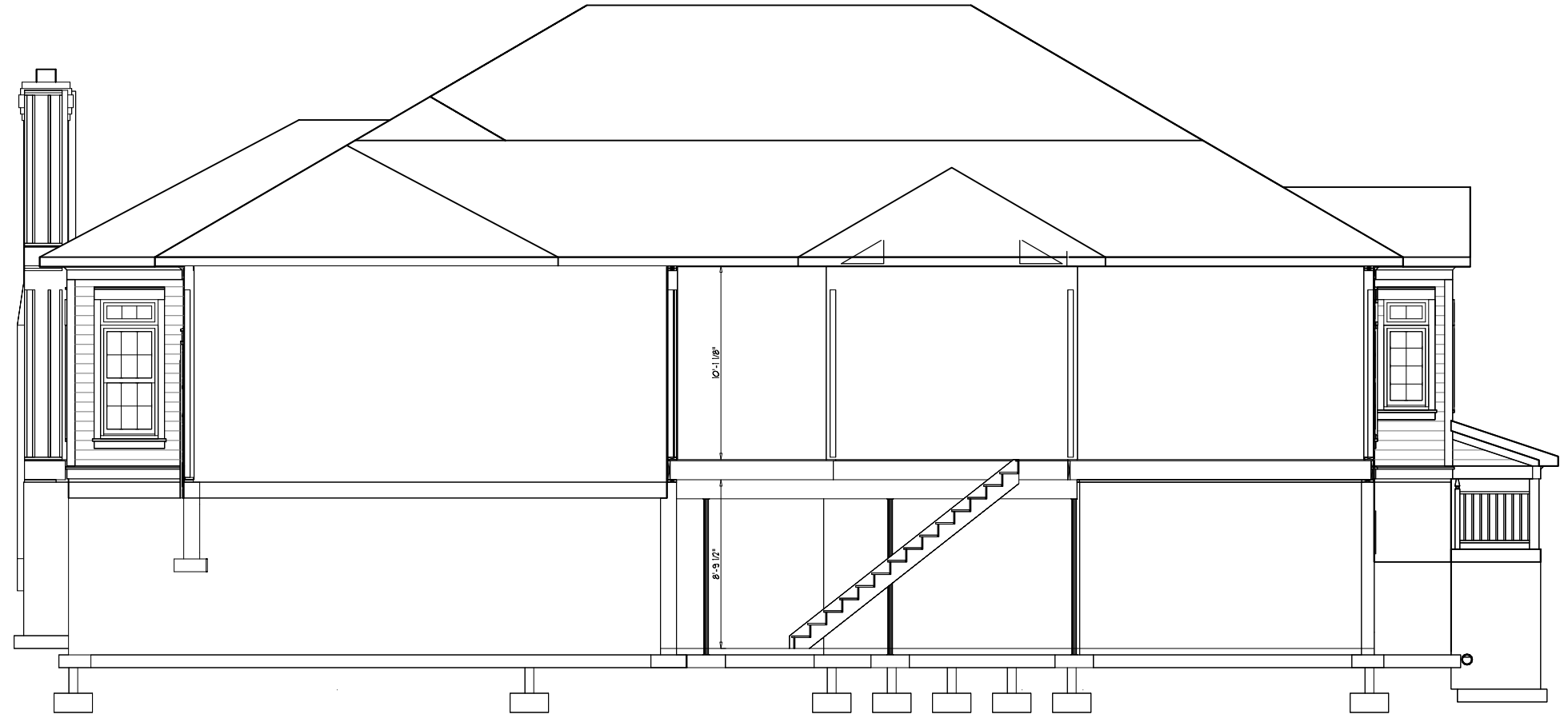
PLANSHOP.BIZ
HOMES DESIGNED FOR OPTIMUM VALUE



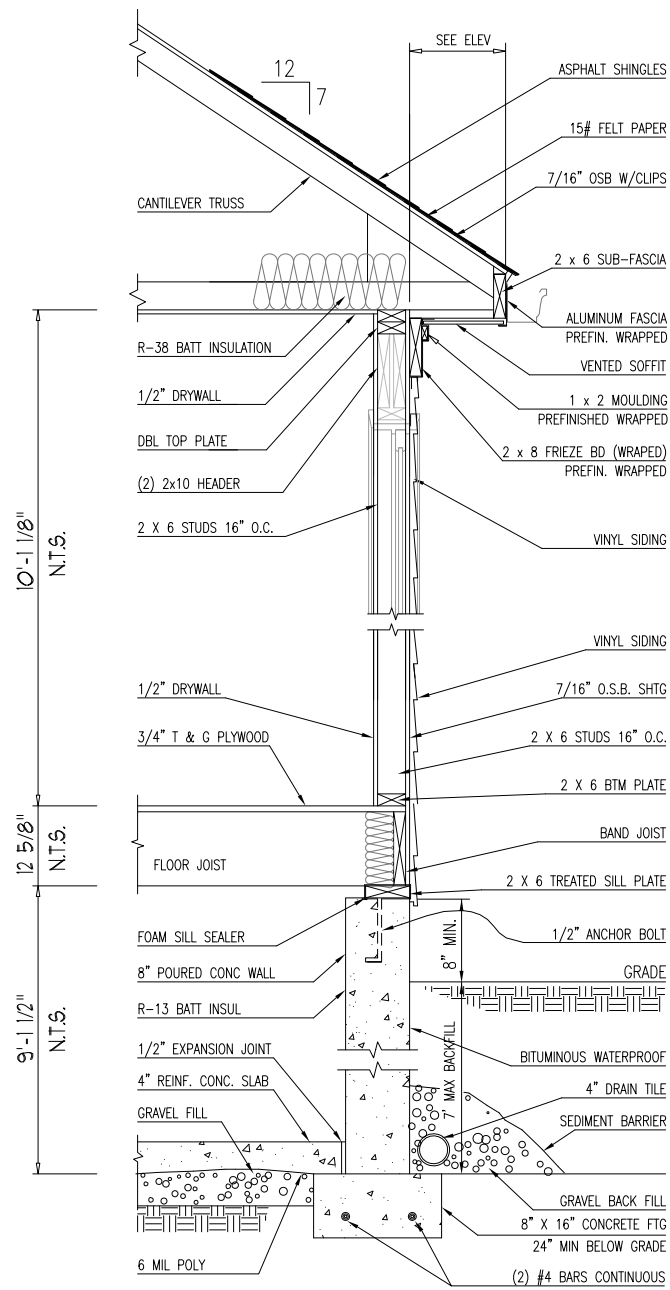
CROSS SECTION "A"
SCALE: 1/8" = 12"



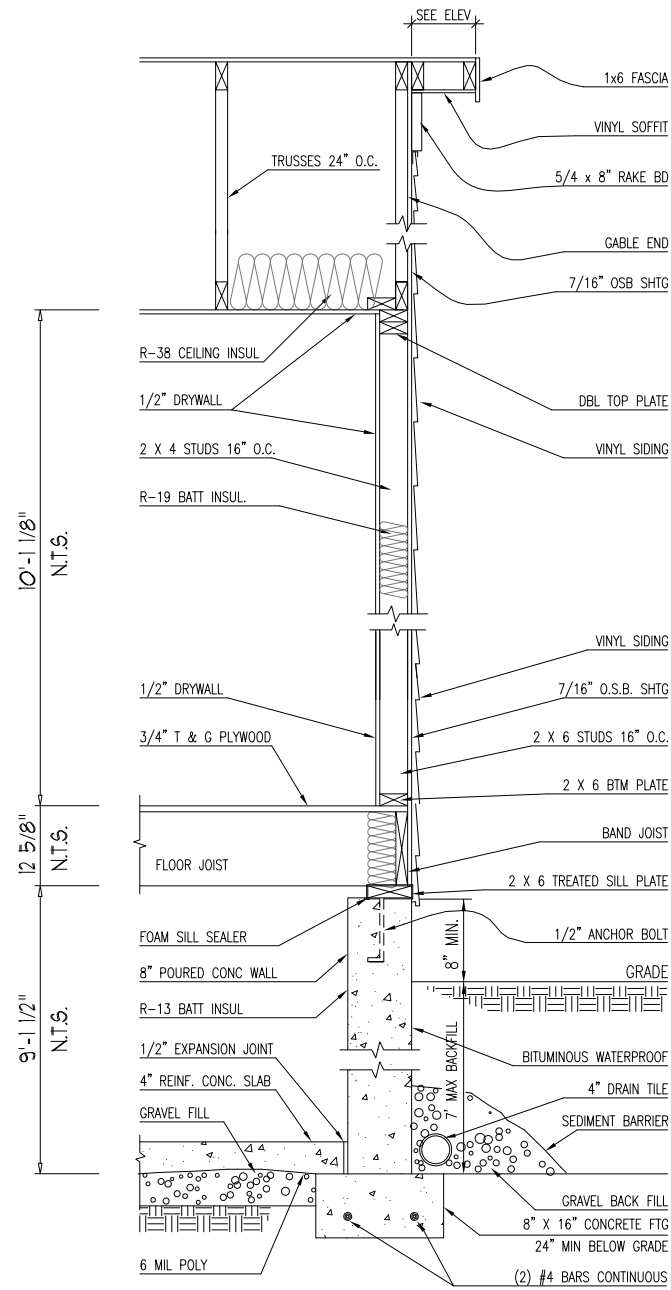
STAIR SECTION
SCALE: 1/4" = 12"



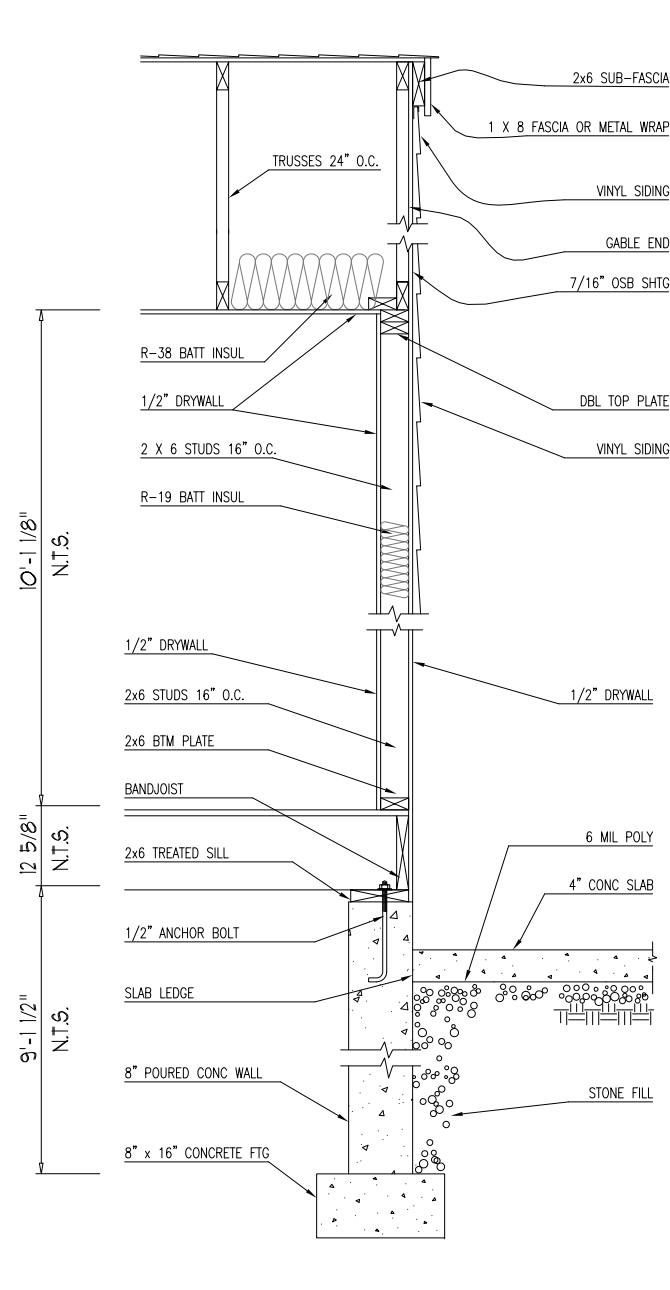
CROSS SECTION "B"
SCALE: 1/8" = 12"



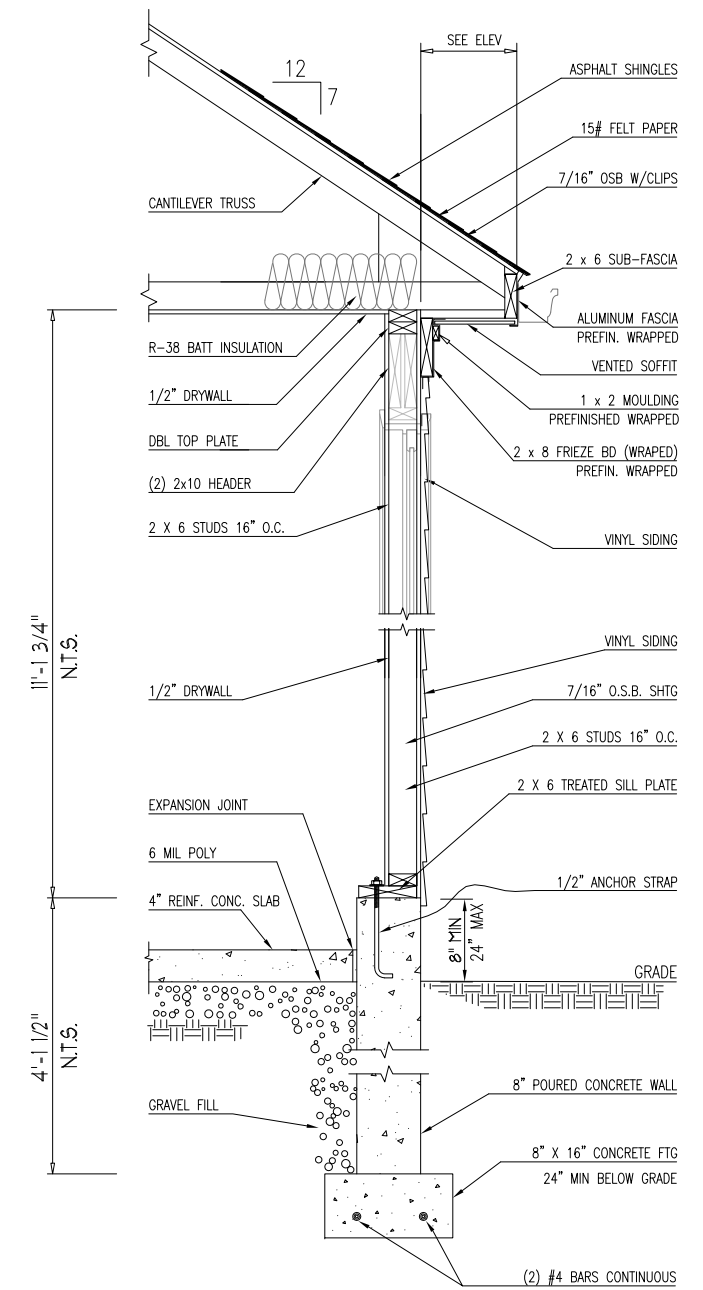
A-8 TYPICAL 1-STORY WALL SECTION



B-8 TYPICAL 1-STORY GABLE SECTION



C-8 COMMON GARAGE WALL



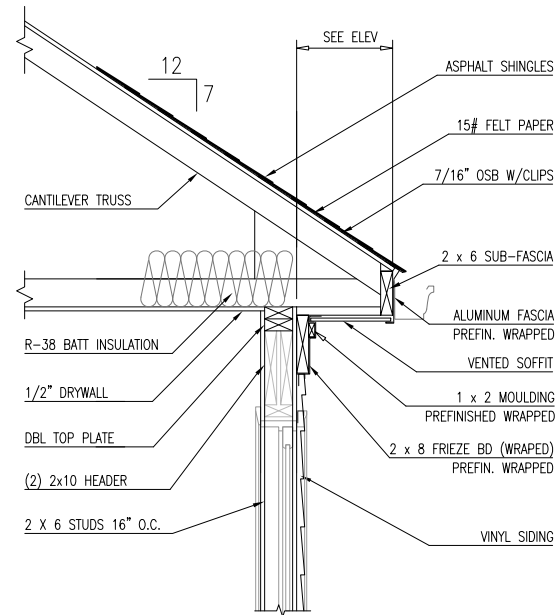
D-8 TYPICAL GARAGE WALL SECTION

VERTICAL REBAR SPACING

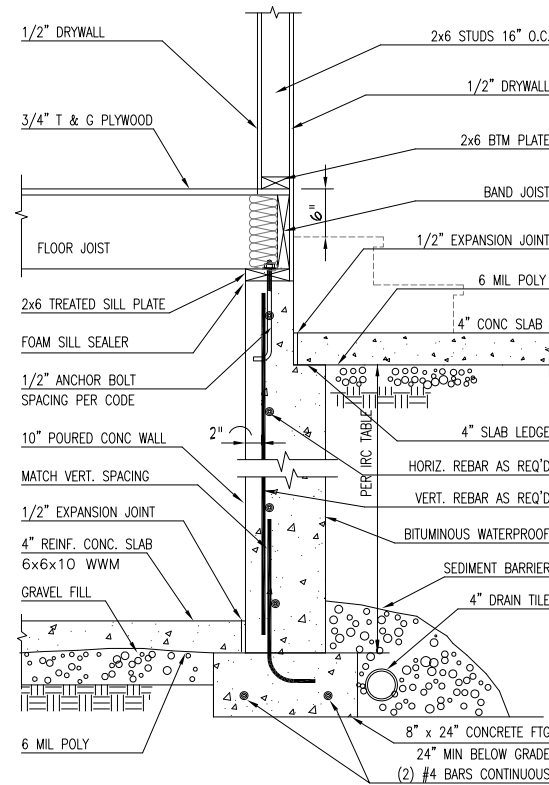
1 FT. TO 1.5 FT. FILL - #4 BARS @ 12" O.C.
 6 FT. TO 1 FT. FILL - #4 BARS @ 18" O.C.
 5 FT. TO 6. FT. FILL - #4 BARS @ 24" O.C.
 LESS THAN 5 FT. - NO VERTICAL BARS REQUIRED
 BALANCED FILL - NO VERTICAL REBAR REQUIRED

HORIZONTAL REBAR SPACING

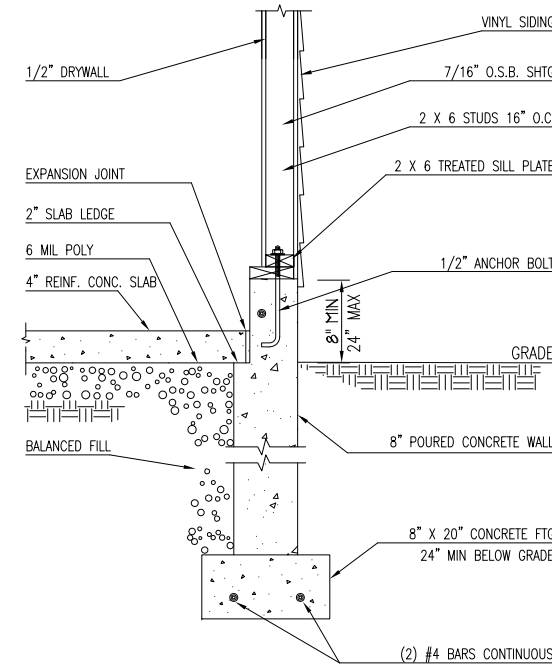
#4 BARS @ 24" O.C.



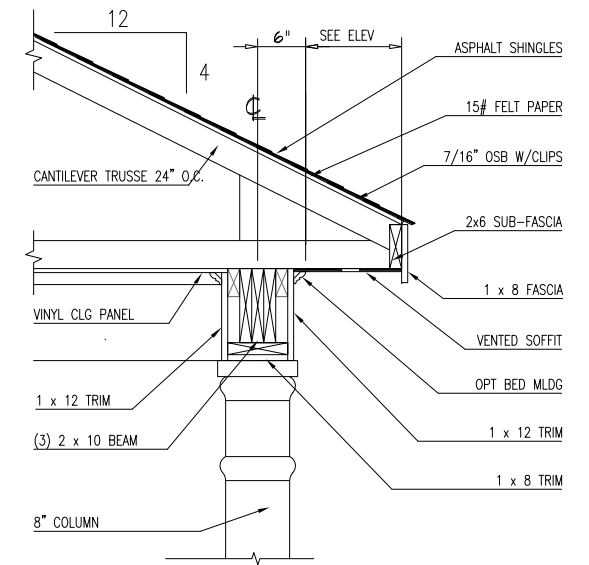
CANTILEVERED TRUSS OVERHANG



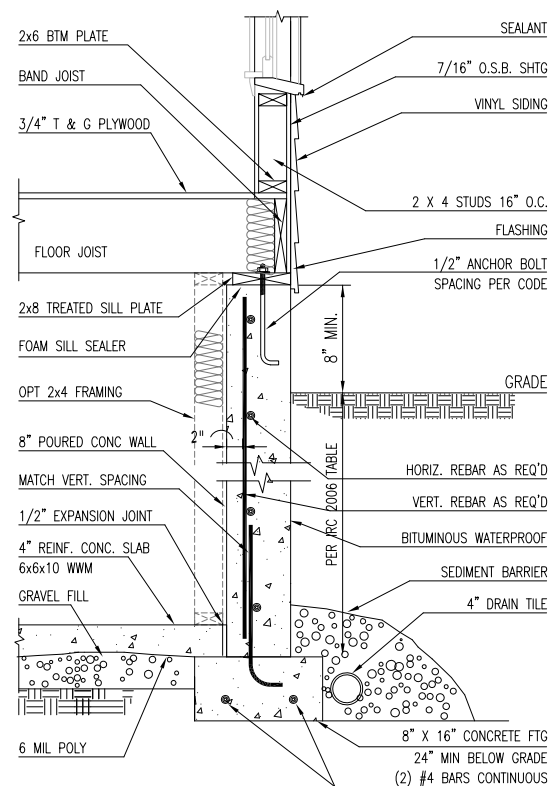
COMMON GARAGE WALL W/SLAB LEDGE



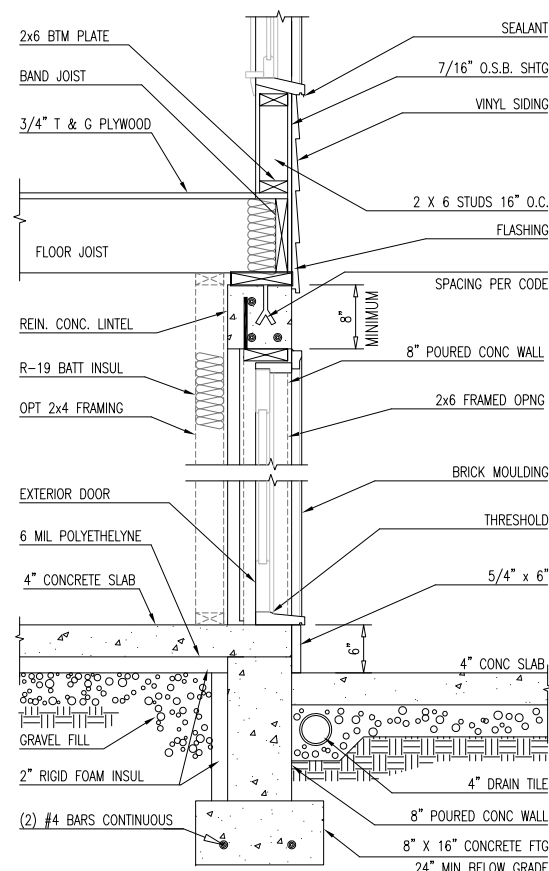
TYPICAL GARAGE WALL W/SLAB LEDGE



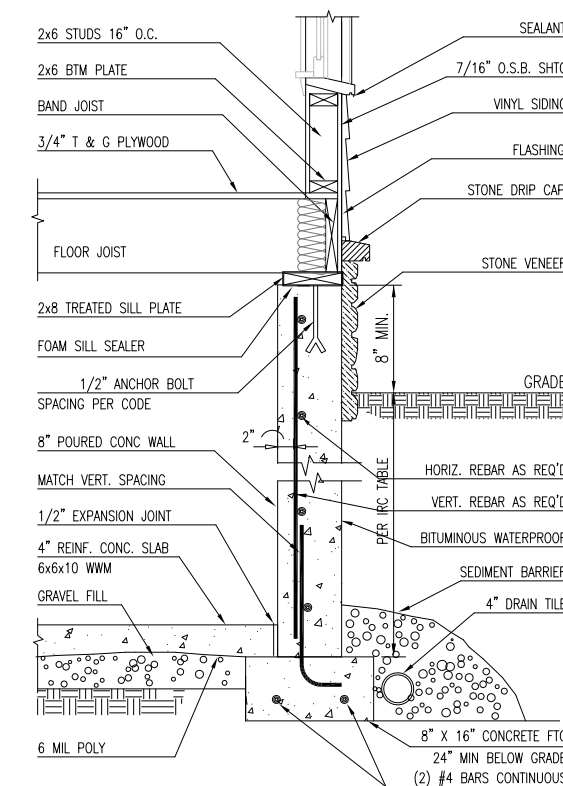
PORCH BEAM SECTION



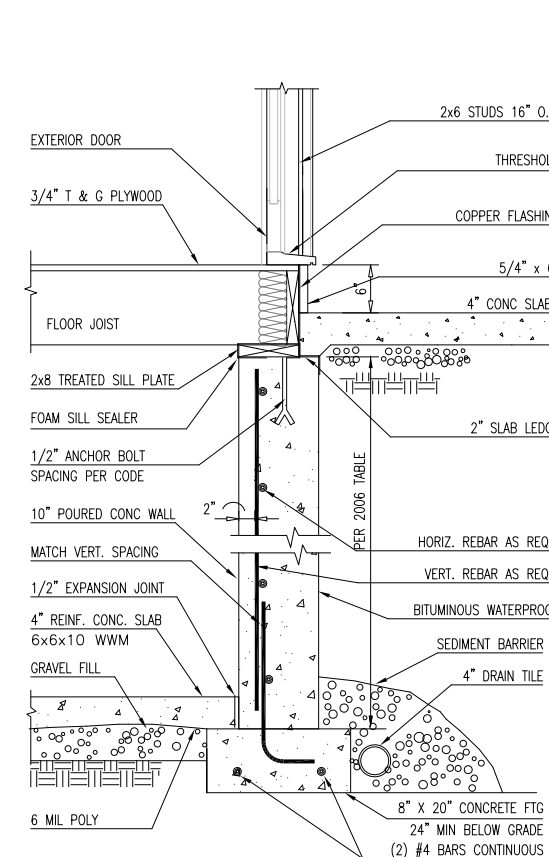
TYPICAL BASEMENT WALL SECTION



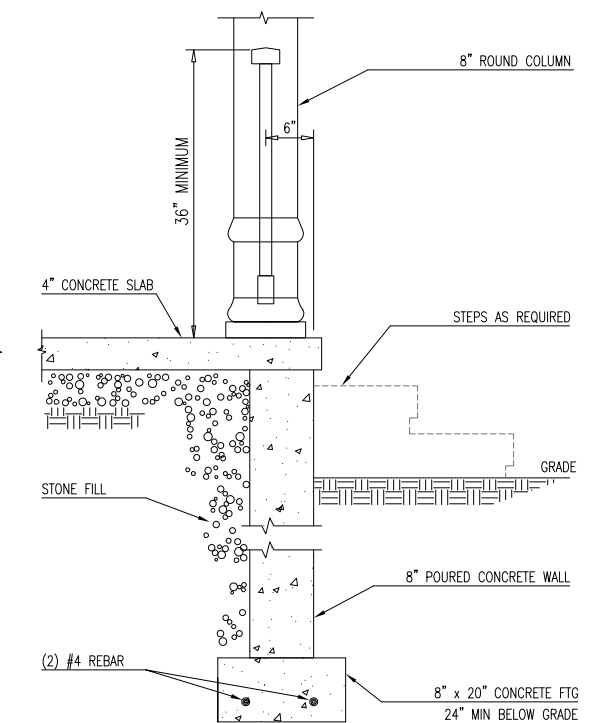
BASEMENT WALK-OUT CONDITION



BASEMENT WALL WITH STONE FOUNDATION



CONCRETE PORCH FLOOR WITH BASEMENT



TYPICAL CONCRETE PORCH FLOOR

GENERAL NOTES:

THIS PLAN WAS DESIGNED AND DRAFTED BY PLANSHOP, LLC TO MEET NORMAL CONDITIONS AND BUILDING CODES. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS TO A SPECIFIC BUILDING SITE BEFORE BEGINNING CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO PLANSHOP, LLC IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE OVERLOOKED OR NOT REPORTED.

ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NOT SCALED FROM COPIES OF PLAN. SCALE MAY NOT BE ACCURATE ON REDUCED COPIES. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 24" BELOW FINISHED GRADE AND MUST BEAR ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2000 PSF. CONSULT LOCAL ENGINEER OR BUILDING OFFICIAL FOR PROPER FOOTING SIZE AND REINFORCING. MAXIMUM BACKFILL IS 1' FOR 10" WALLS AND 6' FOR 8" CONCRETE WALLS. UNBALANCED FILL SHALL NOT EXCEED TABLE 404.11A.

ALL STRUCTURAL COMPONENTS INDICATED ON THIS PLAN MUST BE VERIFIED AND STAMPED BY AN ENGINEER AS REQUIRED BY THE STATE WHERE CONSTRUCTION WILL OCCURE.

STRUCTURAL NOTES:

FOUNDATION WALLS ARE 8" REINFORCED POURED CONCRETE. PROVIDE ASPHALT BASED WATERPROOFING AND CONTINUOUS DRAIN TILE AROUND PERIMETER OF BASEMENT OR CRAWL SPACE IF REQUIRED BY LOCAL CODES. CONSULT LOCAL BUILDING OFFICIAL FOR SPECIFIC REQUIREMENTS.

PROVIDE SIMPSON MAS FOUNDATION ANCHOR 12" FROM EACH CORNER & A MAXIMUM OF 6 FT O.C. AROUND PERIMETER OF FOUNDATION. INSTALL ACCORDING TO MANUFACUTERER'S SPECIFICATIONS.

ALL EXTERIOR SLABS ON GRADE SHALL BE 3000 PSI AND BEAR ON 4" COMPACTED GRANULAR FILL WITH 6X6 - 10X10 WELDED WIRE MESH. INTERIOR CONCRETE SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH. PROVIDE PROPER EXPANSION AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.

FLOOR FRAMING SHALL MEET OR EXCEED 40 PSF LIVE LOAD AND 15 PSF DEAD LOAD. ROOF FRAMING SHALL MEET OR EXCEED 30 PSF LIVE LOAD AND 20 LBS PSF DEAD LOAD. LIVE LOADS DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY SPECIAL LOADING CONDITIONS WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND ADJUSTMENTS TO PLANS MADE ACCORDINGLY. CONSULT YOUR LOCAL BUILDING OFFICIAL FOR VERIFICATION OF YOUR SPECIFIC DESIGN REQUIREMENTS.

PROVIDE CORNER BRACING WITH EITHER 1/16" STRUCTURAL OSB, 12 CDX PLYWOOD OR METAL WIND BRACES.

FRAMING NOTES:

ALL FRAMING LUMBER TO BE #2 HEM FIR OR #2 S.P.F. OR BETTER UNLESS INDICATED OTHERWISE. EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF 1/2" RIGID INSULATION OR SHEATHING. INTERIOR WALL ARE DIMENSIONED TO FRAMING USING STANDARD 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE. ALL ANGLED WALL INDICATED ON FLOOR PLAN ARE 45 DEGREES UNLESS NOTED OTHERWISE.

EXTERIOR DOOR AND WINDOW HEADERS AND BEARING WALL OPENINGS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD OR OSB FLITCH PLATE UNLESS NOTED OTHERWISE. STANDARD HEADER HEIGHT IS 82" UNLESS NOTED OTHERWISE. ALL OPENINGS WHICH EXCEED 48" REQUIRE (2) JACKS AT EACH END.

FLOOR AND ROOF FRAMING PLANS SHALL BE PROVIDED BY MANUFACTURER OR SUPPLIER OF PRE ENGINEERED BUILDING COMPONENTS.

ROOF SHEATHING IS 1/16" OSB OR 1/2" CDX PLYWOOD WITH TECO PLYWOOD CLIPS BETWEEN ALL FRAMING MEMBERS.

MISCELLANEOUS NOTES:

PREFABRICATED FIREPLACES AND FLUE ARE TO BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

ALL INTERIOR WALLS AND CEILINGS ARE TO BE COVERED WITH 1/2" DRYWALL AND ALL BATH TUB AND SHOWERS WITH 1/2" WATER RESISTANT DRYWALL. GARAGE WALLS AND CEILINGS COMMON TO HOUSE SHALL HAVE 1/2" FIRE RATED DRYWALL.

ONE WINDOW IN EACH BEDROOM MUST HAVE A MINIMUM CLEAR OPENING OF 5.7 SQ. FT. WITH NO MEASUREMENT LESS THAN 24" HIGH AND 20" WIDE WITH A MAXIMUM SILL HEIGHT OF 44 INCHES.

PROVIDE FIRE STOPPING FOR FINISHED BASEMENT AND LOWER LEVEL (IF APPLICABLE) PER IRC 2009 SECTION M1803.3.1

ABBREVIATIONS

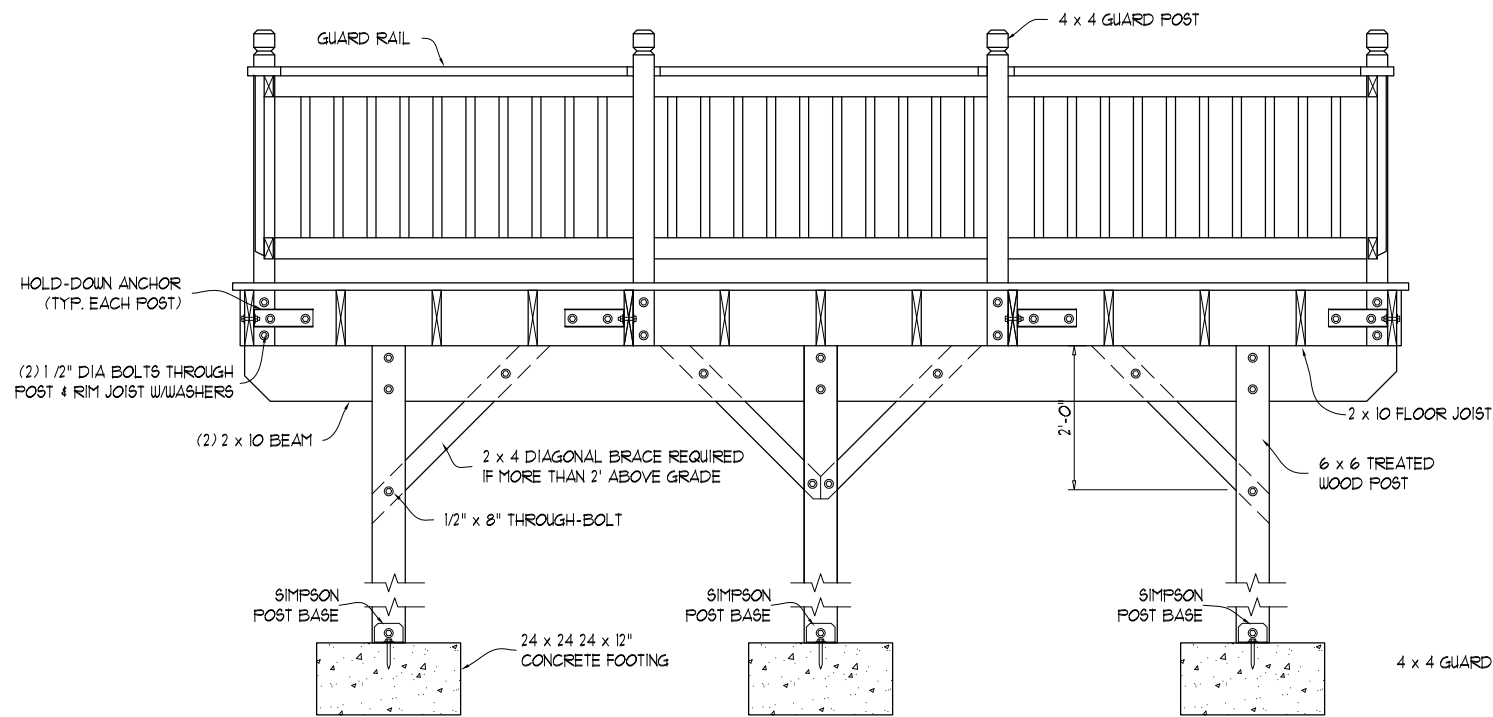
AFF.	ABOVE FINISHED FLOOR	L.S.	LAZY SUSAN
BLDG	BUILDING	MAX	MAXIMUM
BSMT	BASEMENT	MAS	MASTER
BDRM	BEDROOM	M/C	MEDICINE CABINET
BRKFST	BREAKFAST ROOM	MICRO	MICROWAVE
CATH	CATHEDRAL	MIN	MINIMUM
CANT	CANTILEVER	MISC	MISCELLANEOUS
CLG	CEILING	M.O.	MASONRY OPENING
C.O.	CASED OPENING	N.T.S.	NOT TO SCALE
CONC	CONCRETE	O.C.	ON CENTER
CSMT	CASEMENT	OCT	OCTAGON
DBL	DOUBLE	OPNG	OPENING
DH	DOUBLE HUNG	OPT	OPTIONAL
DIA	DIAMETER	P.C.	FULL CORD
DN	DOWN	PAN	PANTRY
DR	DOOR	PANT	PANTRY
DRY	DRYER	POLY	POLYETHYLENE
DW	DISHWASHER	PLYWD	PLYWOOD
ELEV	ELEVATION	R	RISER
ENT	ENTERTAINMENT	RAD	RADIUS
EXT	EXTERIOR	REFRG	REFRIGERATOR
FIN	FINISHED	RM	ROOM
FL	FLOOR	R.O.	ROUGH OPENING
FLUOR	FLUORESCENT	SH	SINGLE HUNG
FND	FOUNDATION	SHTG	SHEATHING
FTG	FOOTING	SLDR	SLIDER
FURN	FURNACE	SQ FT	SQUARE FEET
GALV	GALVANIZED	S.R.O.	DRYWALL OPENING
GFI	GROUND FAULT INTER.	STD	STANDARD
HDR	HEADER	T. & G.	TONGUE & GROOVE
HRDWD	HARDWOOD	TRAN	TRANSOM
INSUL	INSULATION	V	VANITY
INT	INTERIOR	WASH	WASHER
JST	JOIST	WF.	WIDE FLANGE
L.V.L.	LAMINATED BEAM	WH	WATER HEATER
L/C	LAUNDRY CHUTE	WP	WEATHER PROOF
LIN	LINEN	W.W.M.	WELDED WIRE MESH

SQUARE FOOTAGE CALCULATIONS:

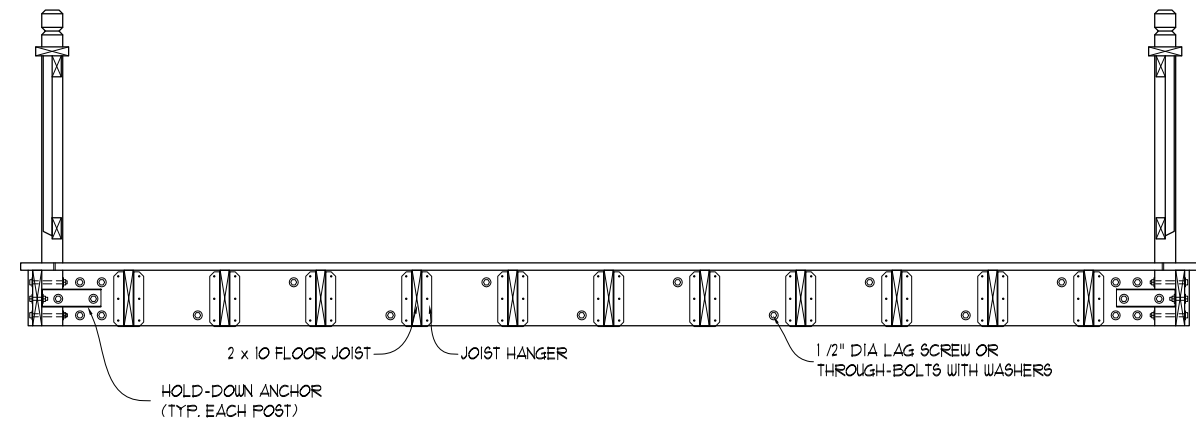
SQUARE FOOT CALCULATIONS BASED ON THE ANSI Z165-2003 STANDARD. CALCULATIONS ARE TAKEN FROM THE EXTERIOR SIDE OF STUD FRAMING. STAIRS ARE COUNTED AS YOU WOULD DESCEND (BOTH FIRST FLOOR AND SECOND FLOOR STAIRS ARE INCLUDED) FLOORS OPEN TO BELOW ARE NOT INCLUDED BONUS ROOMS REQUIRE A MIN. OF 50% OF THE FLOOR SPACE TO HAVE A CEILING HEIGHT OF 7' OR GREATER TO BE INCLUDED. NO SPACE WITH LESS THAN 5' KNEE WALLS IS INCLUDED.

SYMBOLS

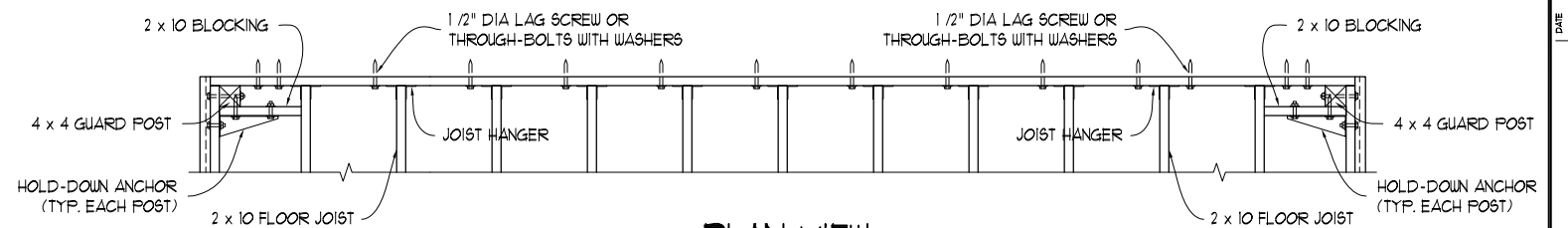
⊕	CEILING LIGHT	⊕ ^{WP}	WEATHERPROOF
⊗	RECESSED LIGHT	⊕	FLOOR RECEPT.
⊕	FLORESCENT	⊕	SMOKE DETECTOR
⊕ ^{PC}	PULL CHORD	☎	TELEPHONE
⊗	BATH FAN	⊕	CABLE TV
⊗	BATH FAN / LITE	⊕	SPEAKER
S	SINGLE POLE SWITCH	⊕	THERMOSTAT
S ³	3 WAY SWITCH	⊕	SECURITY PANEL
S ⁴	4 WAY SWITCH	✂	PADDLE FAN
⊕	RECEPTACLE	⊕	HEATDUCT
⊕	SWITCHED RECEPT.	⊕ ^{RA}	RETURN AIR
⊕ ^{GFI}	GFI RECEPT.		
⊕ ²²⁰	220 RECEPT.		



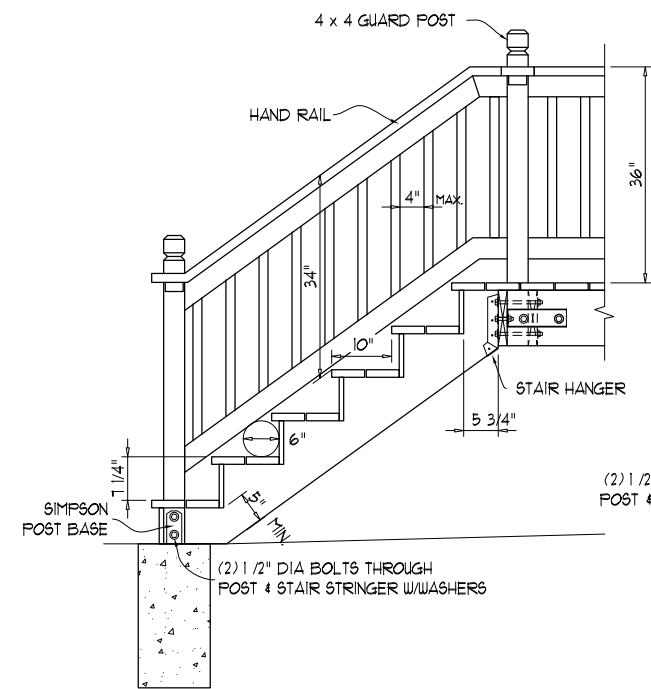
TYPICAL POST & BEAM SECTION



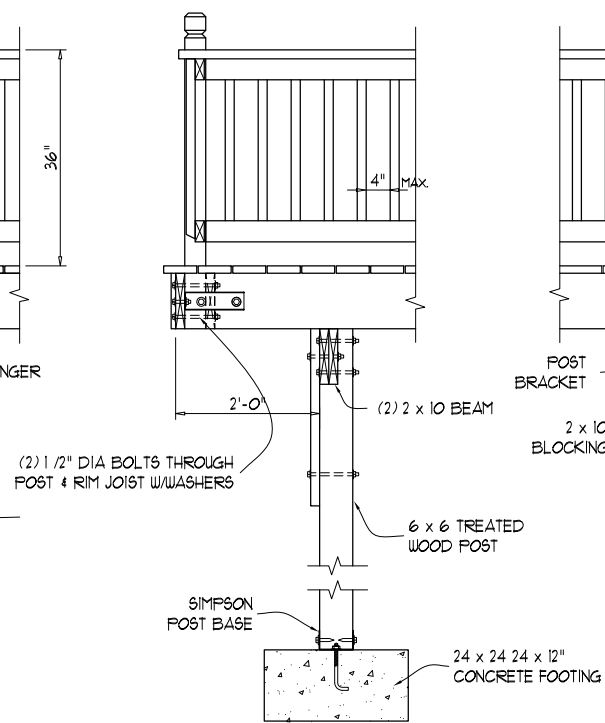
ATTACHED TO HOUSE



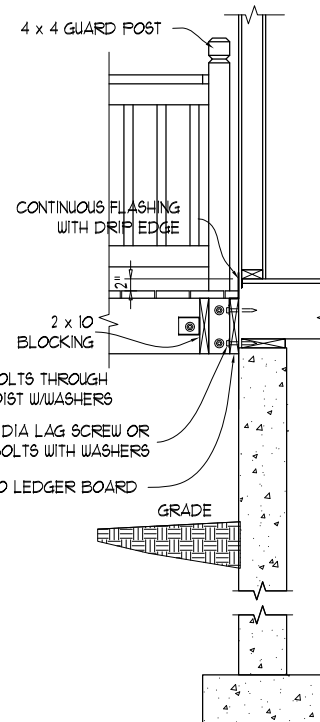
PLAN VIEW



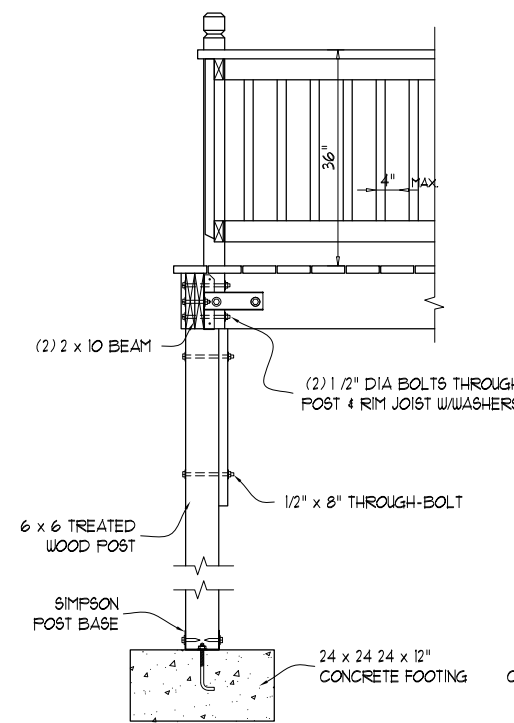
TYPICAL STAIR SECTION



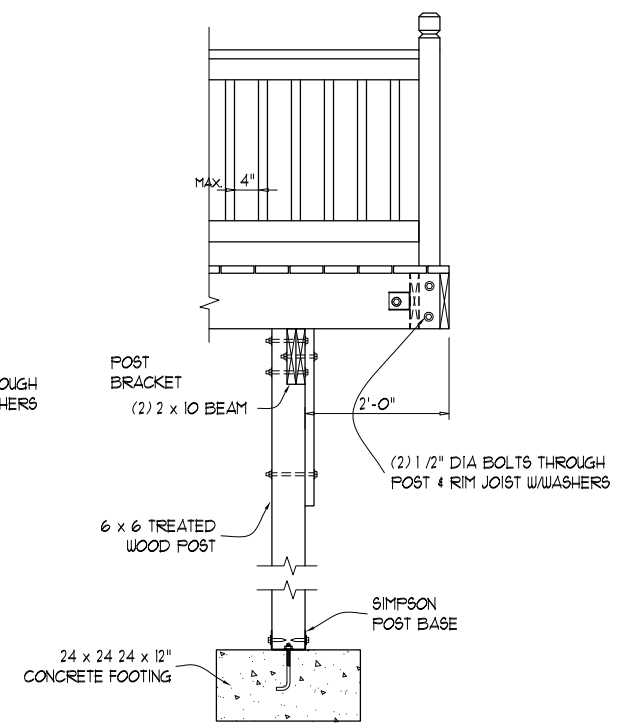
TYPICAL CANTIVER SECTION



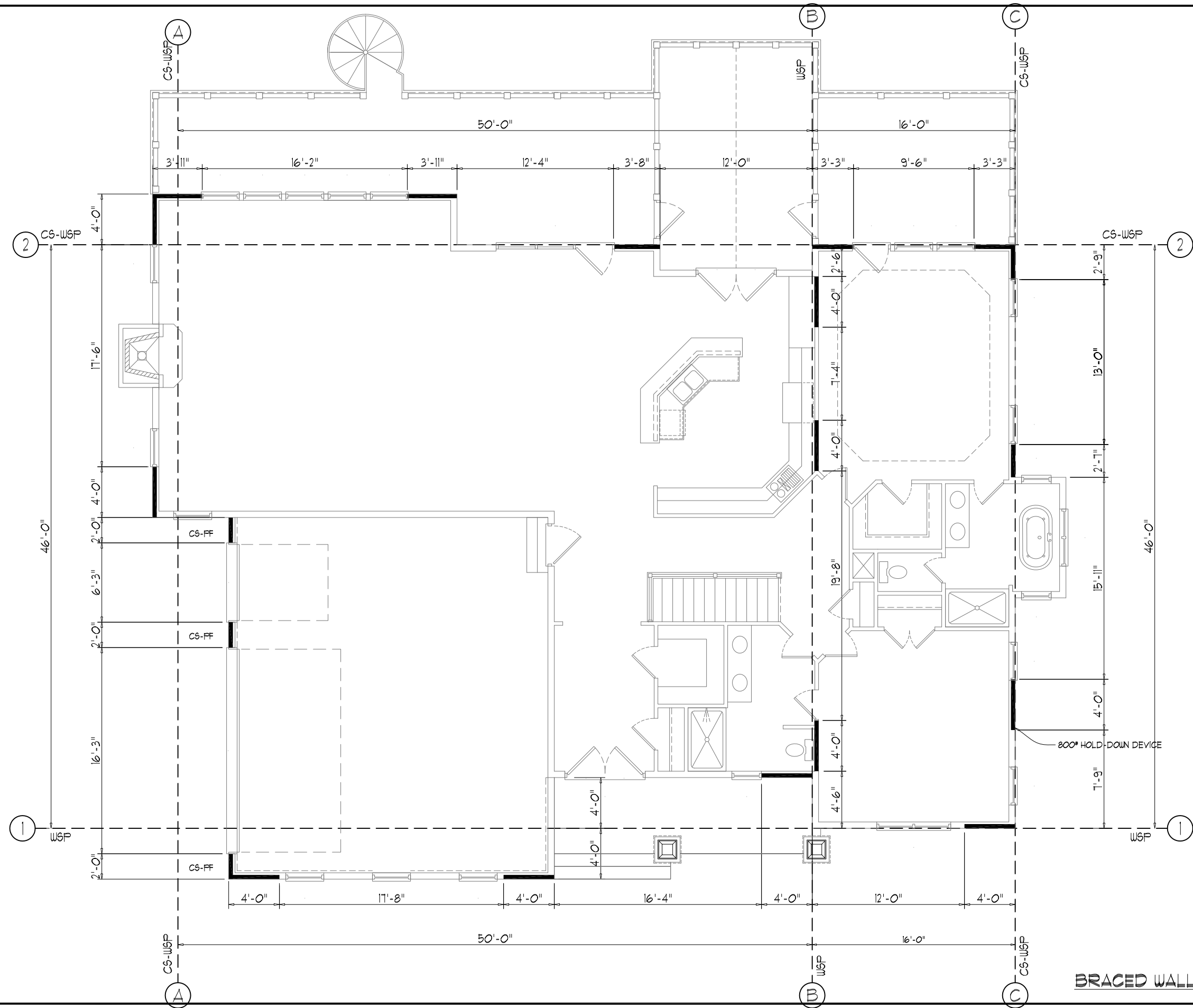
ATTACHED TO HOUSE



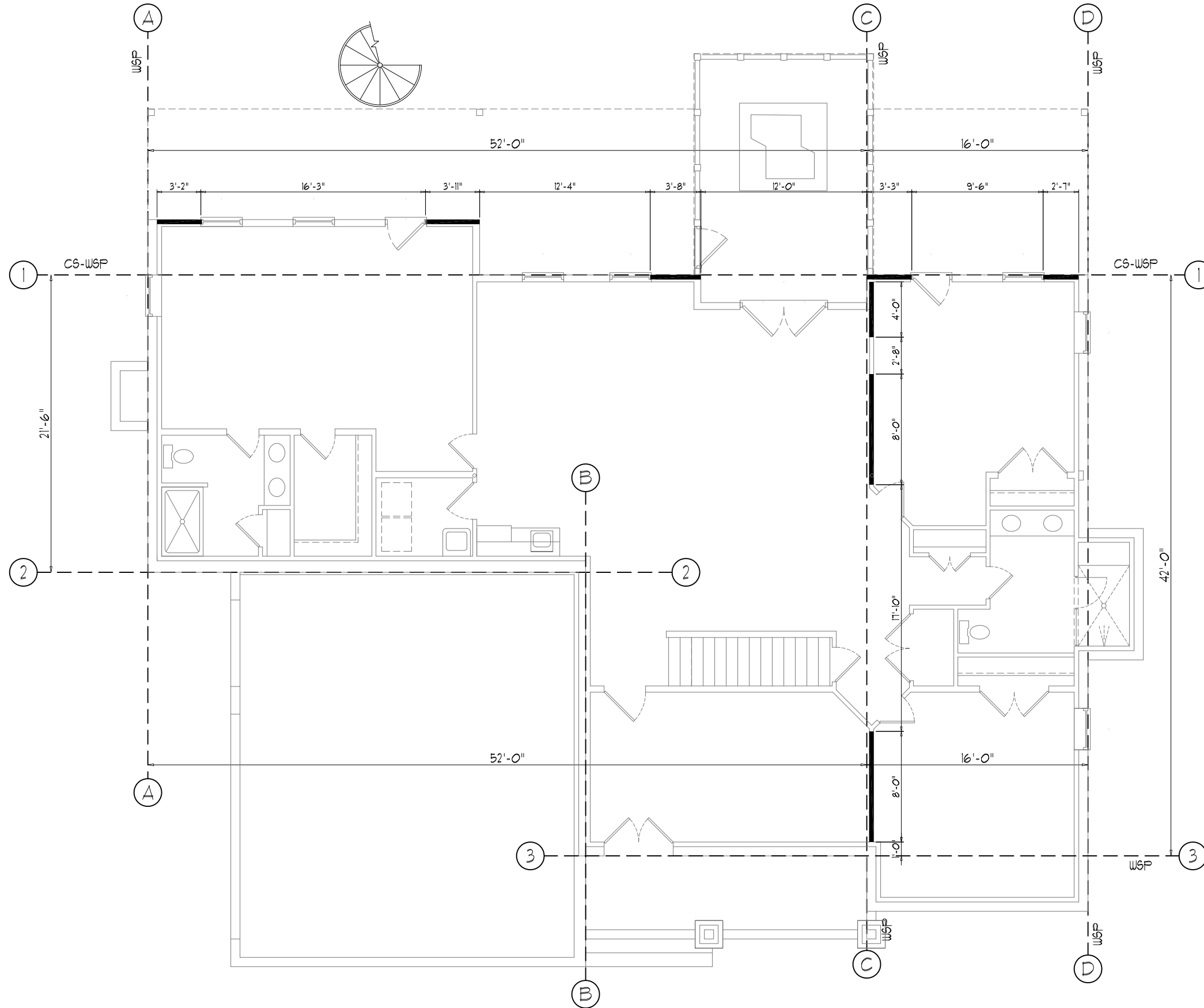
TYPICAL FLUSH BEAM



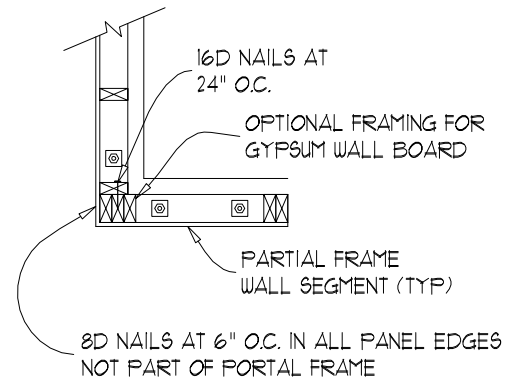
FREE STANDING DECK



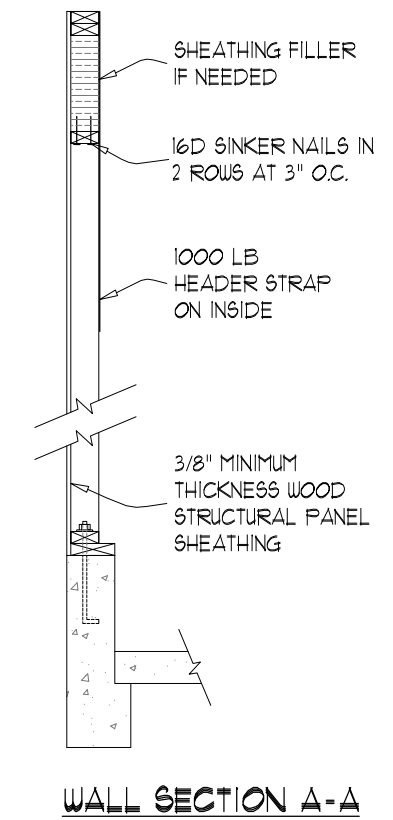
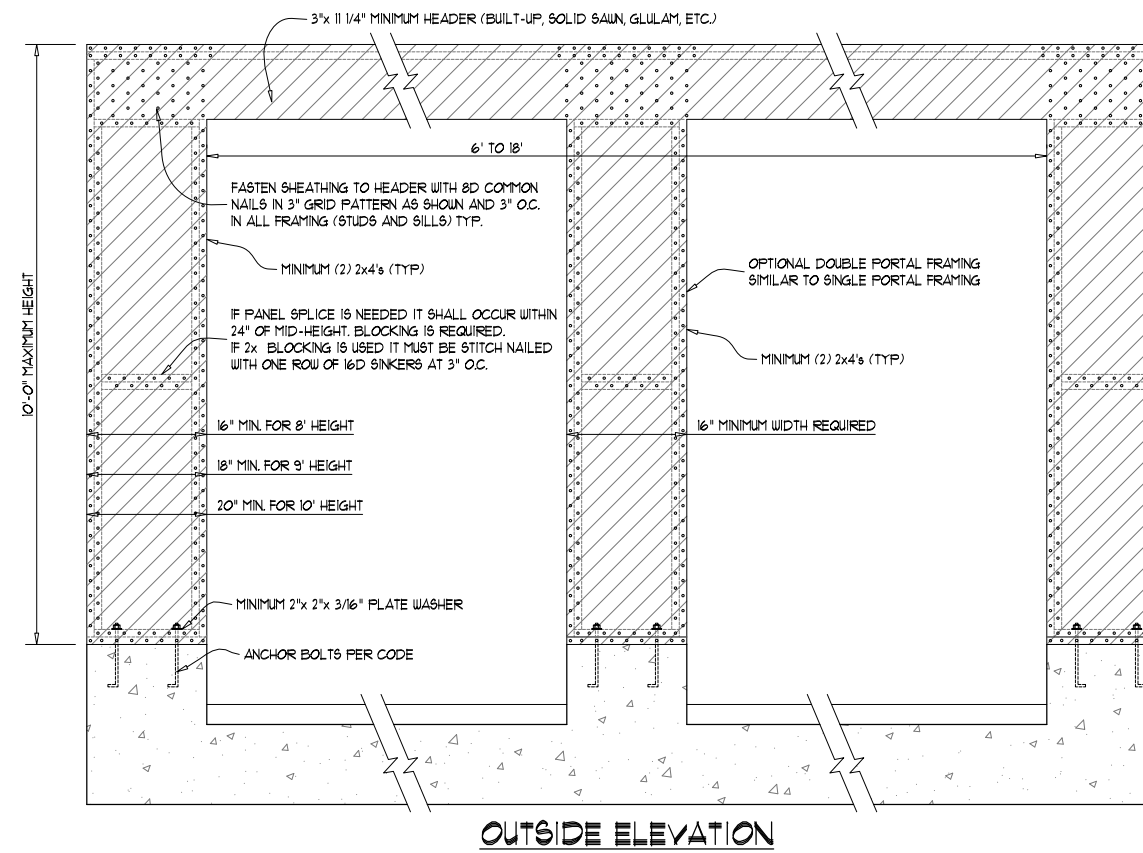
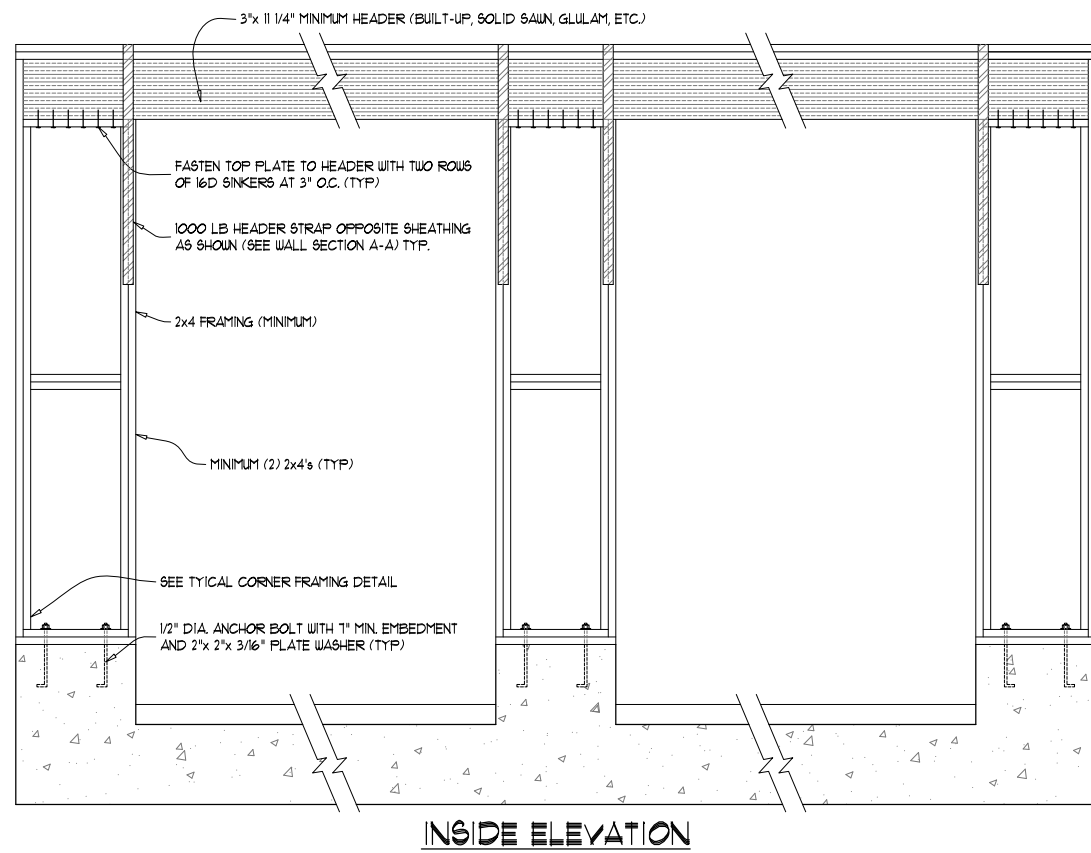
BRACED WALL LINES



BRACED WALL LINES



CORNER FRAMING DETAIL



GARAGE PORTAL FRAMING WITHOUT HOLD-DOWNS
IRC CODE SECTION R602

